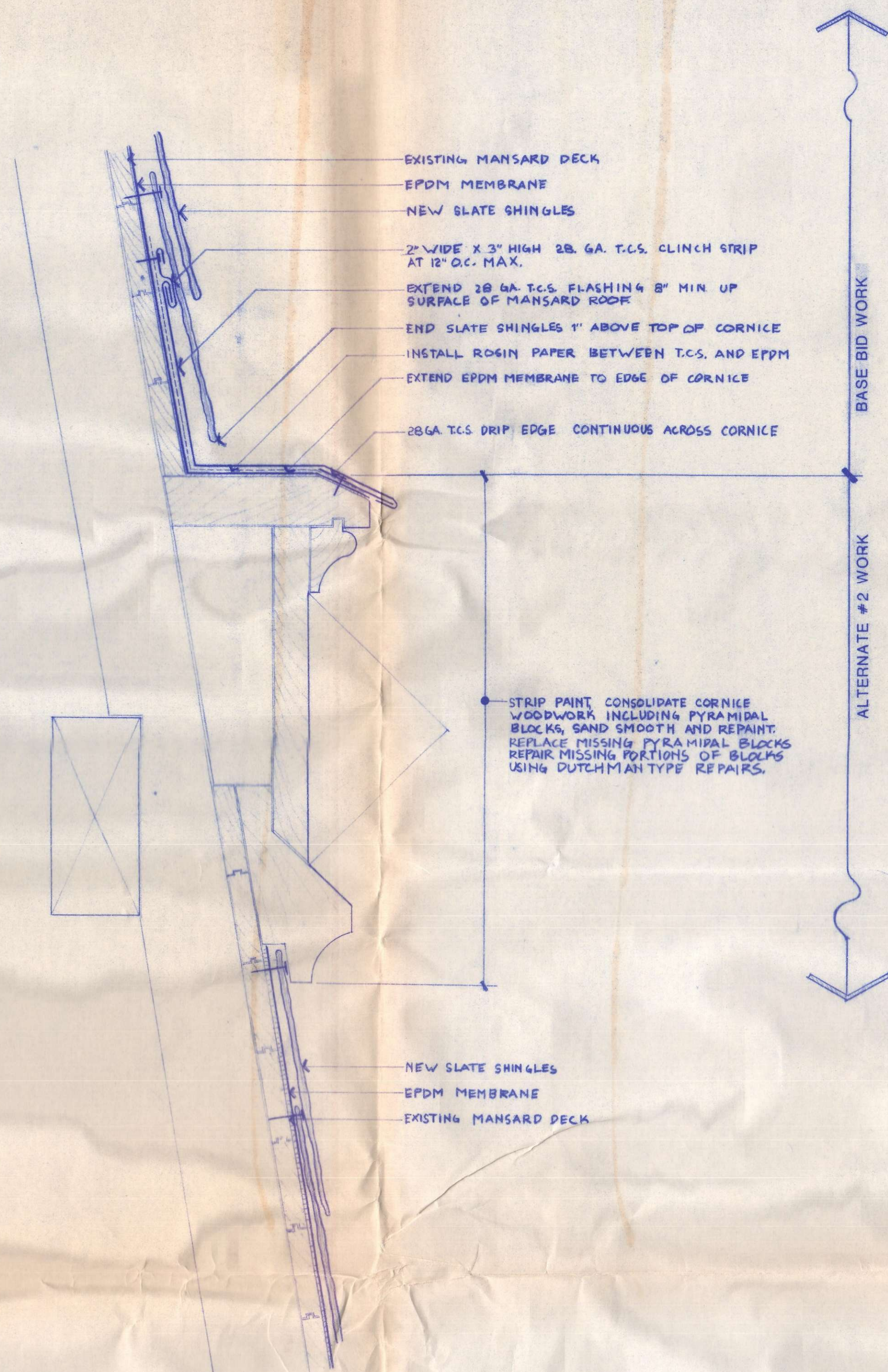


This file contained 35 mm slides, which have not been scanned.

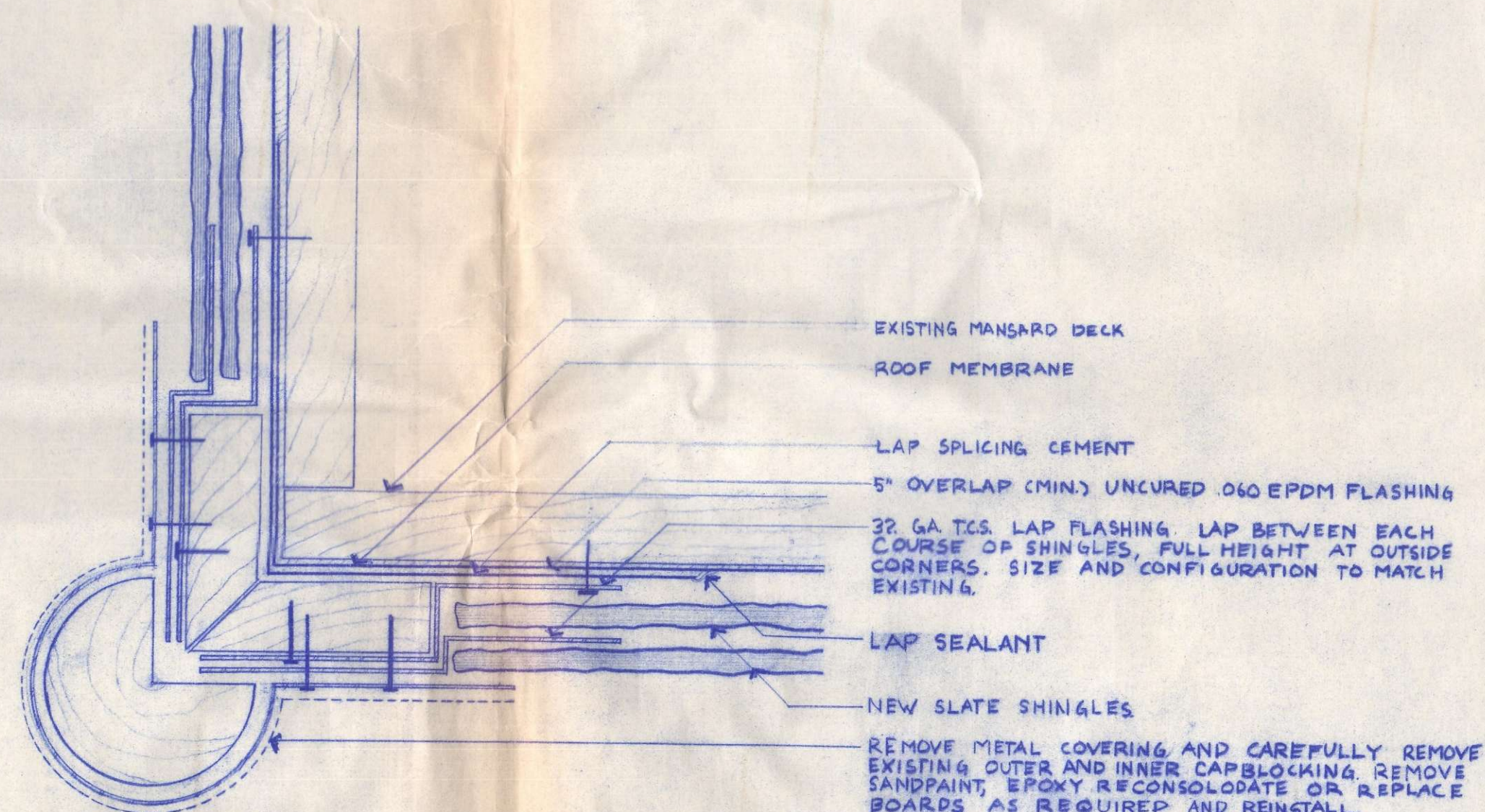
The slides are on file at the Division for Historic Preservation.

Please contact the Division to view the slides.

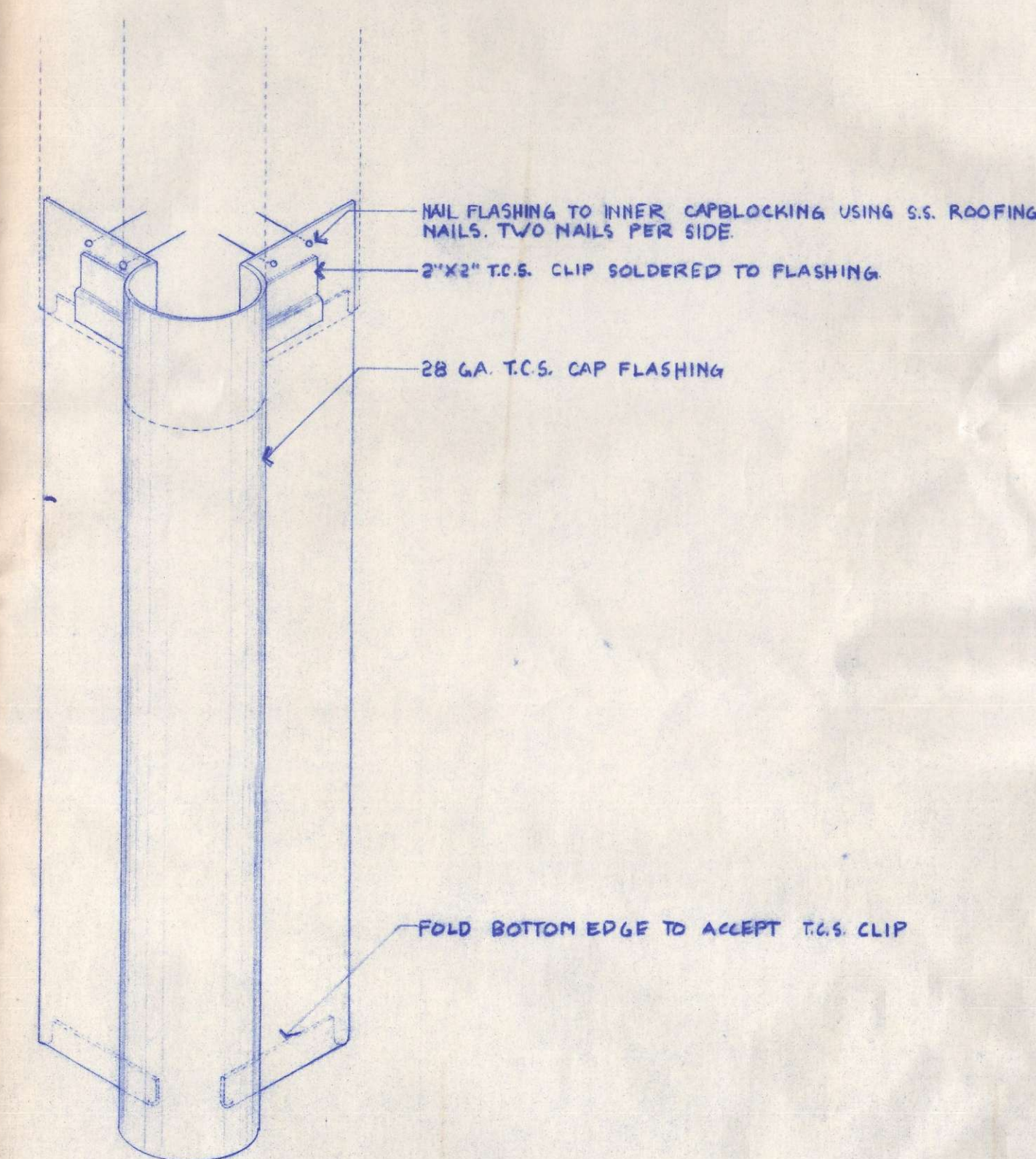
2014



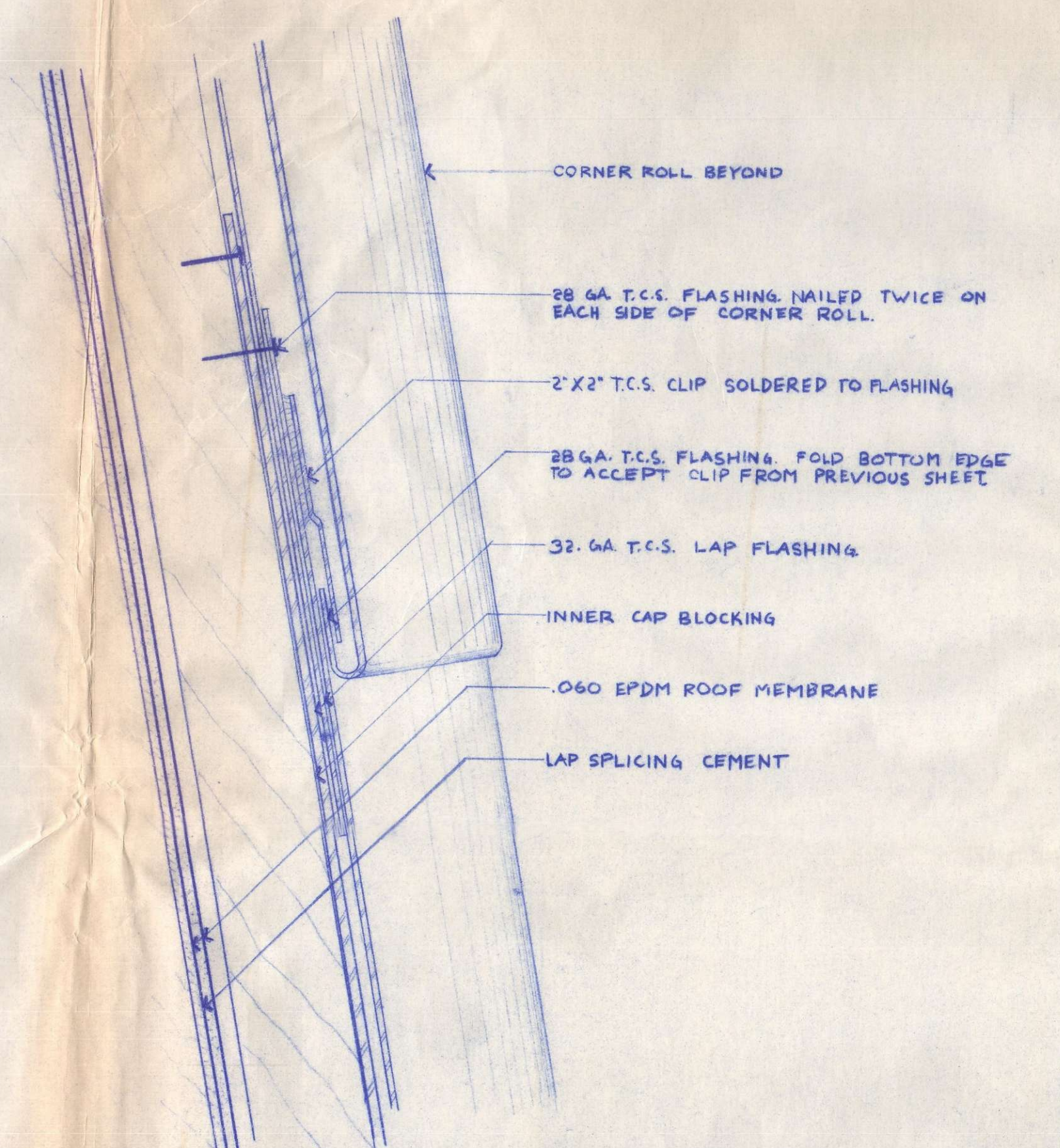
1 CORNICE FLASHING DETAIL  
SCALE: 3/4"=1'-0"



2 CORNER FLASHING DETAIL  
SCALE: HALF FULL SCALE



3 CORNER MOLD FLASHING COVER  
SCALE: 3/4"=1'-0"

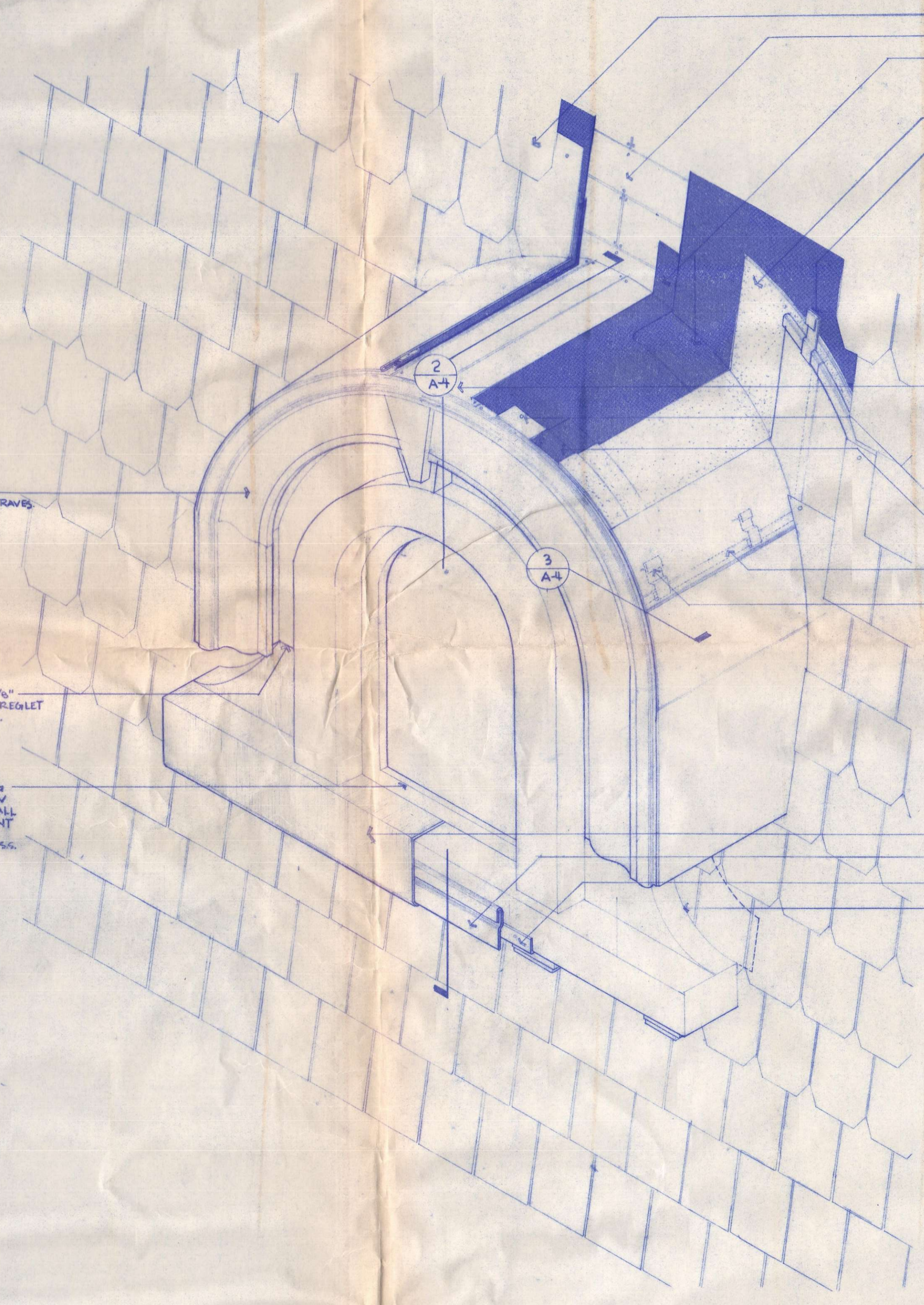


4 CORNER FLASHING SECTION  
SCALE: HALF FULL SCALE





SCALE
COMMISSION NO.
DRAWN BY
DATE
REVIEW



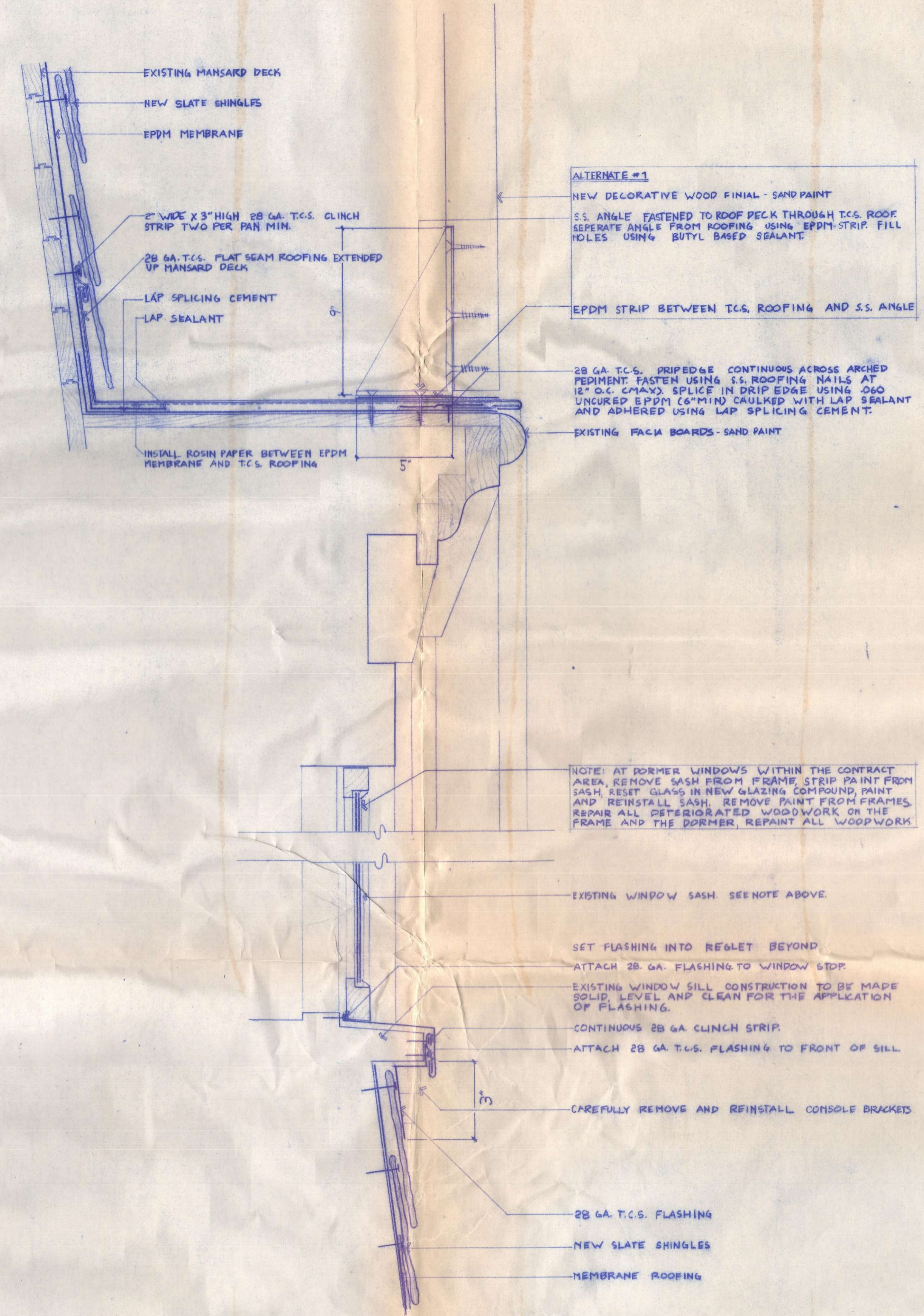
**1 UPPER TOWER DORMER FLASHING**  
NO SCALE  
DETAIL FOR NORTH, EAST AND SOUTH DORMERS.  
DETAIL FOR WEST DORMER / DOOR HOOD SIMILAR.

- NEW SLATE SHINGLES - SEE DETAIL 2/A-4 FOR NOTES
- EXISTING MANSARD DECK
- EXTEND EPDM 4" MIN. UP MANSARD DECK FROM PEDIMENT AND DOWN TO ARCHED PECKING FROM MANSARD DECK. SEAL WITH SPECIFIED LAP SPLICING CEMENT AND EDGE SEALANT.
- INSTALL ROSIN PAPER BETWEEN EPDM MEMBRANE AND T.C.S. ROOFING
- EXTEND 28 GA. T.C.S. ROOFING 8" (MIN.) UP MANSARD ROOF ATTACH WITH 3" CLINCH STRIPS AT 12" O.C. (MAX.) - 2 PER PAN MIN.
- REMOVE EXISTING SHEET METAL ROOFING AND REPAIR EXISTING DECK AS REQUIRED WITH NEW WOOD TO EXACTLY MATCH EXISTING.
- INSTALL UNCURVED 260 EPDM ROOFING MEMBRANE ADHERED TO DECK.
- CONTINUOUS 28 GA. T.C.S. DRIP EDGE
- SPLICE IN DRIP EDGE USING 260 UNCURVED EPDM MEMBRANE FLASHING (6" MIN)
- INSTALL NEW T.C.S. ROOFING, FLAT SEAMS TO MATCH LOCATIONS ON EXISTING METAL ROOFING
- 2" WIDE 28 GA. T.C.S. CLINCH STRIP PLACED AT 12" O.C. (2 PER PAN MIN.)
- 28 GA. T.C.S. SILL FLASHING - SAND PAINT
- 28 GA. T.C.S. CLINCH STRIP CONTINUOUS ACROSS SILL
- 28 GA. T.C.S. FLASHING ATTACHED TO SILL AT 12" O.C. MAX
- CONTINUE T.C.S. SILL FLASHING UP TO LOWER DORMER CONSOLE BRACKETS - SAND PAINT.

REMOVE ALL PAINT FROM EXISTING DORMER FRAMES, SILLS, KEYSTONE MOLDINGS AND ARCHITRAVES. EPOXY REPAIR ALL DETERIORATED WOOD. SAND SMOOTH AND REPAINT USING SANDPAINT.

SET VERTICAL PORTION OF SILL FLASHING INTO 1/8" WIDE HORIZONTAL REGLET INTO FRAME. FILL REGLET WITH SPECIFIED SEALANT. (DOOR CORNERING 75%).

REMOVE EXISTING DORMER SASH, REGLAZE USING EXISTING GLASS (IF UNDAMAGED). SET IN NEW GLAZING COMPOUND. STRIP EXISTING SASH OF ALL PAINT. EPOXY REPAIR SASH AS REQUIRED. REPAINT NEWLY GLAZED SASH AND SET INTO EXISTING DORMER FRAME. FIX SASH USING MIN. FOUR 5/8" SCREWS FROM THE INSIDE.

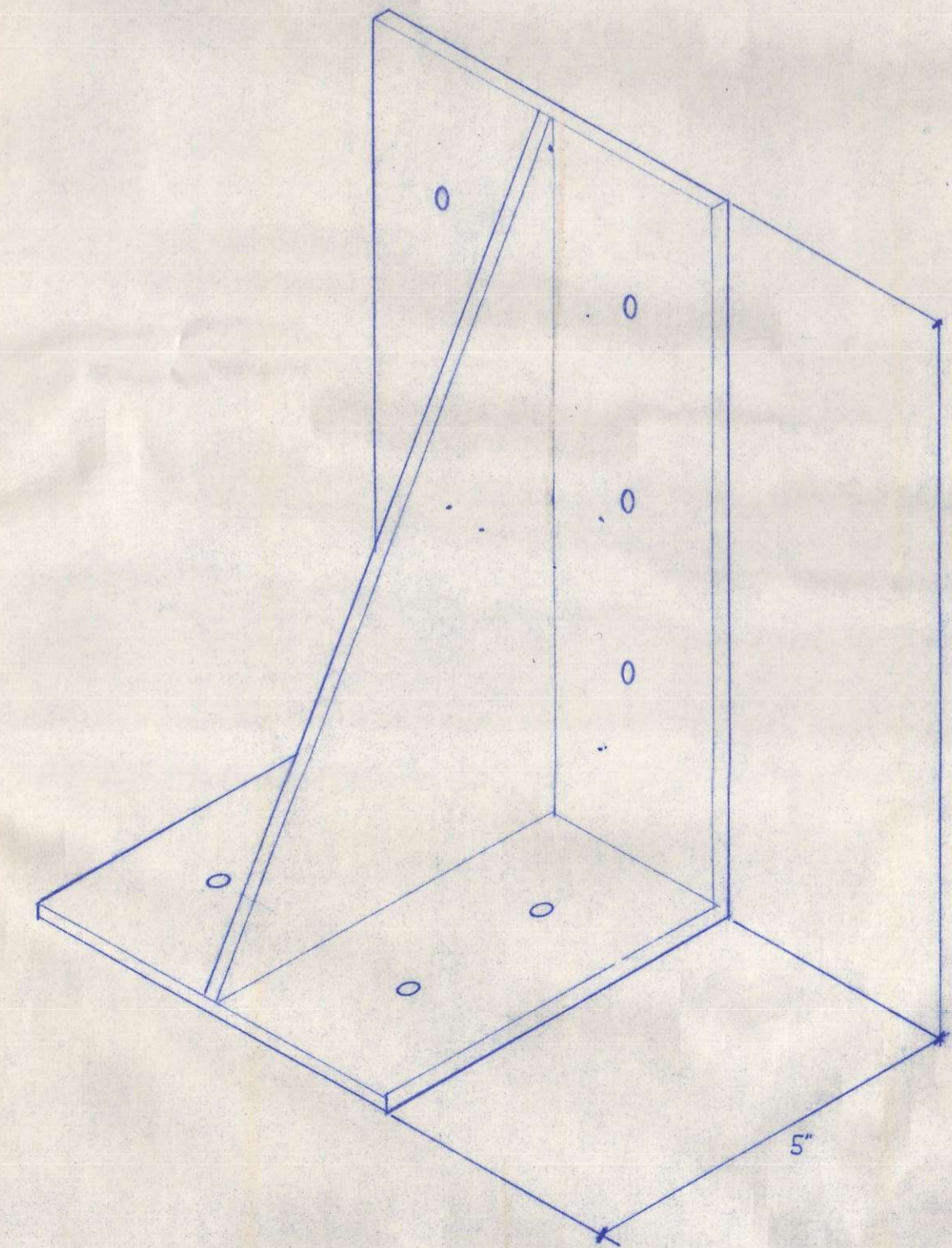


**2 DORMER SECTION**  
SCALE: 3" = 1'-0"

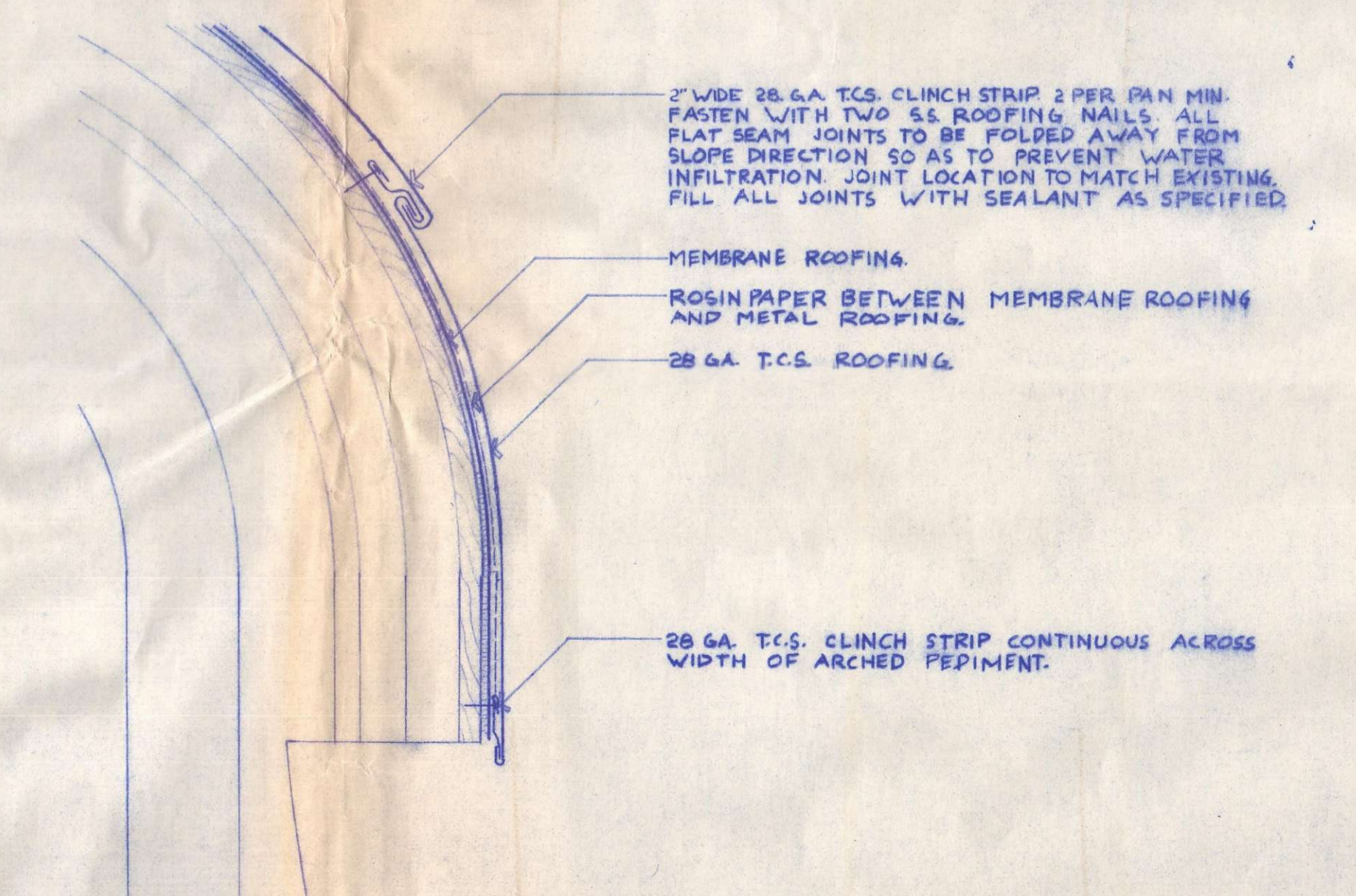
- EXISTING MANSARD DECK
- NEW SLATE SHINGLES
- EPDM MEMBRANE
- 2" WIDE X 3" HIGH 28 GA. T.C.S. CLINCH STRIP TWO PER PAN MIN.
- 28 GA. T.C.S. FLAT SEAM ROOFING EXTENDED UP MANSARD DECK
- LAP SPLICING CEMENT
- LAP SEALANT
- INSTALL ROSIN PAPER BETWEEN EPDM MEMBRANE AND T.C.S. ROOFING
- NEW DECORATIVE WOOD FINIAL - SAND PAINT
- 5/8" ANGLE FASTENED TO ROOF PECK THROUGH T.C.S. ROOF. SEPARATE ANGLE FROM ROOFING USING EPDM STRIP. FILL JOLES USING BUTYL BASED SEALANT.
- EPDM STRIP BETWEEN T.C.S. ROOFING AND 5/8" ANGLE
- 28 GA. T.C.S. DRIP EDGE CONTINUOUS ACROSS ARCHED PEDIMENT. FASTEN USING 5/8" ROOFING NAILS AT 12" O.C. (MAX.). SPLICE IN DRIP EDGE USING 260 UNCURVED EPDM (6" MIN) CAULKED WITH LAP SEALANT AND ADHERED USING LAP SPLICING CEMENT.
- EXISTING FACIA BOARDS - SAND PAINT

NOTE: AT DORMER WINDOWS WITHIN THE CONTRACT AREA, REMOVE SASH FROM FRAME. STRIP PAINT FROM SASH. RESET GLASS IN NEW GLAZING COMPOUND. PAINT AND REINSTALL SASH. REMOVE PAINT FROM FRAMES. REPAIR ALL DETERIORATED WOODWORK ON THE FRAME AND THE DORMER. REPAINT ALL WOODWORK.

- EXISTING WINDOW SASH - SEE NOTE ABOVE.
- SET FLASHING INTO REGLET BEYOND
- ATTACH 28 GA. FLASHING TO WINDOW SILL
- EXISTING WINDOW SILL CONSTRUCTION TO BE MADE SOLID, LEVEL AND CLEAN FOR THE APPLICATION OF FLASHING.
- CONTINUOUS 28 GA. CLINCH STRIP
- ATTACH 28 GA. T.C.S. FLASHING TO FRONT OF SILL
- CAREFULLY REMOVE AND REINSTALL CONSOLE BRACKETS
- 28 GA. T.C.S. FLASHING
- NEW SLATE SHINGLES
- MEMBRANE ROOFING

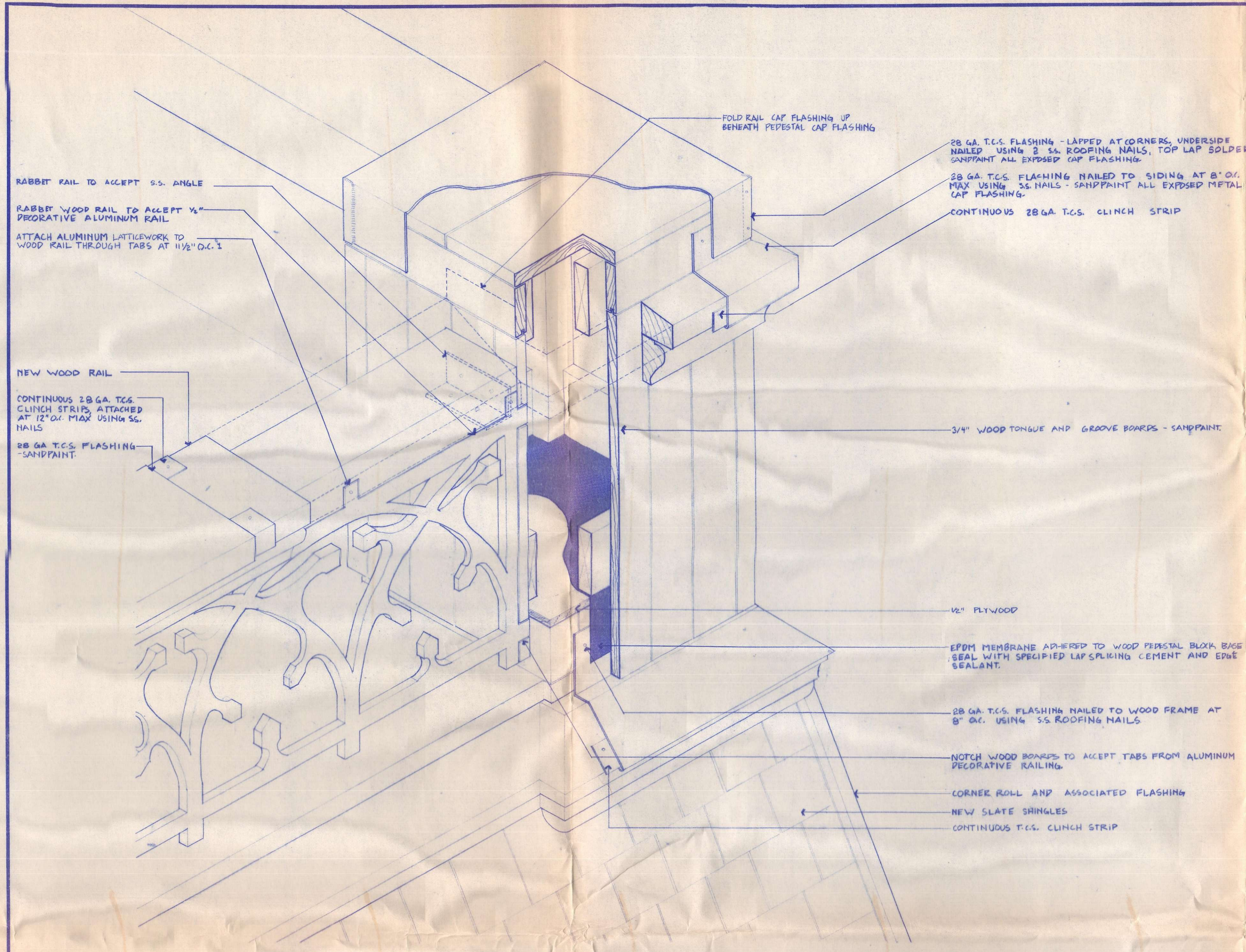


**4 FINIAL BRACKET DETAIL**  
HALF FULL SIZE



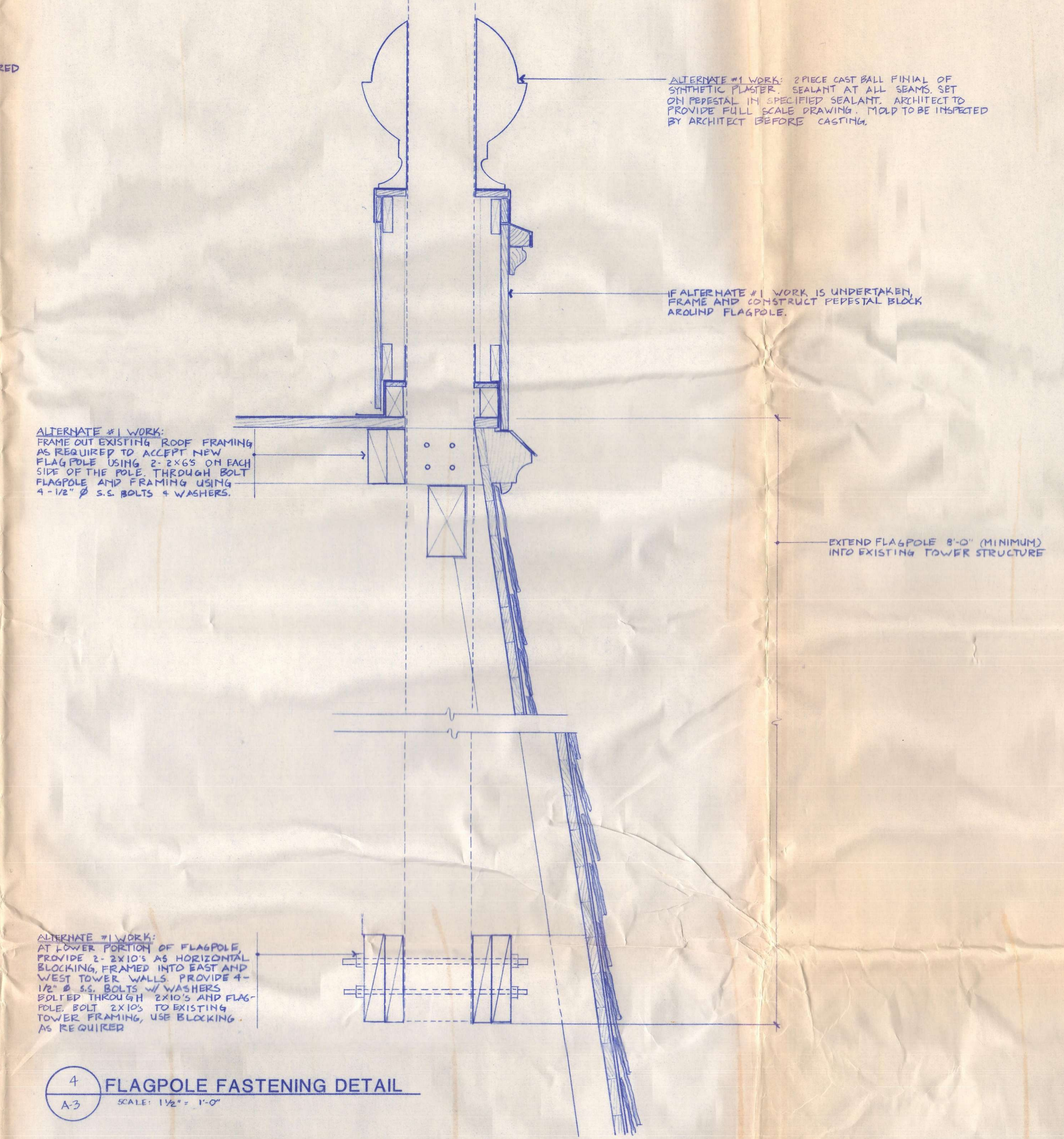
**3 DORMER ROOF DETAIL**  
NO SCALE

- 2" WIDE 28 GA. T.C.S. CLINCH STRIP 2 PER PAN MIN. FASTEN WITH TWO 5/8" ROOFING NAILS. ALL FLAT SEAM JOINTS TO BE FOLDED AWAY FROM SLOPE DIRECTION SO AS TO PREVENT WATER INFILTRATION. JOINT LOCATION TO MATCH EXISTING. FILL ALL JOINTS WITH SEALANT AS SPECIFIED.
- MEMBRANE ROOFING
- ROSIN PAPER BETWEEN MEMBRANE ROOFING AND METAL ROOFING
- 28 GA. T.C.S. ROOFING
- 28 GA. T.C.S. CLINCH STRIP CONTINUOUS ACROSS WIDTH OF ARCHED PEDIMENT.

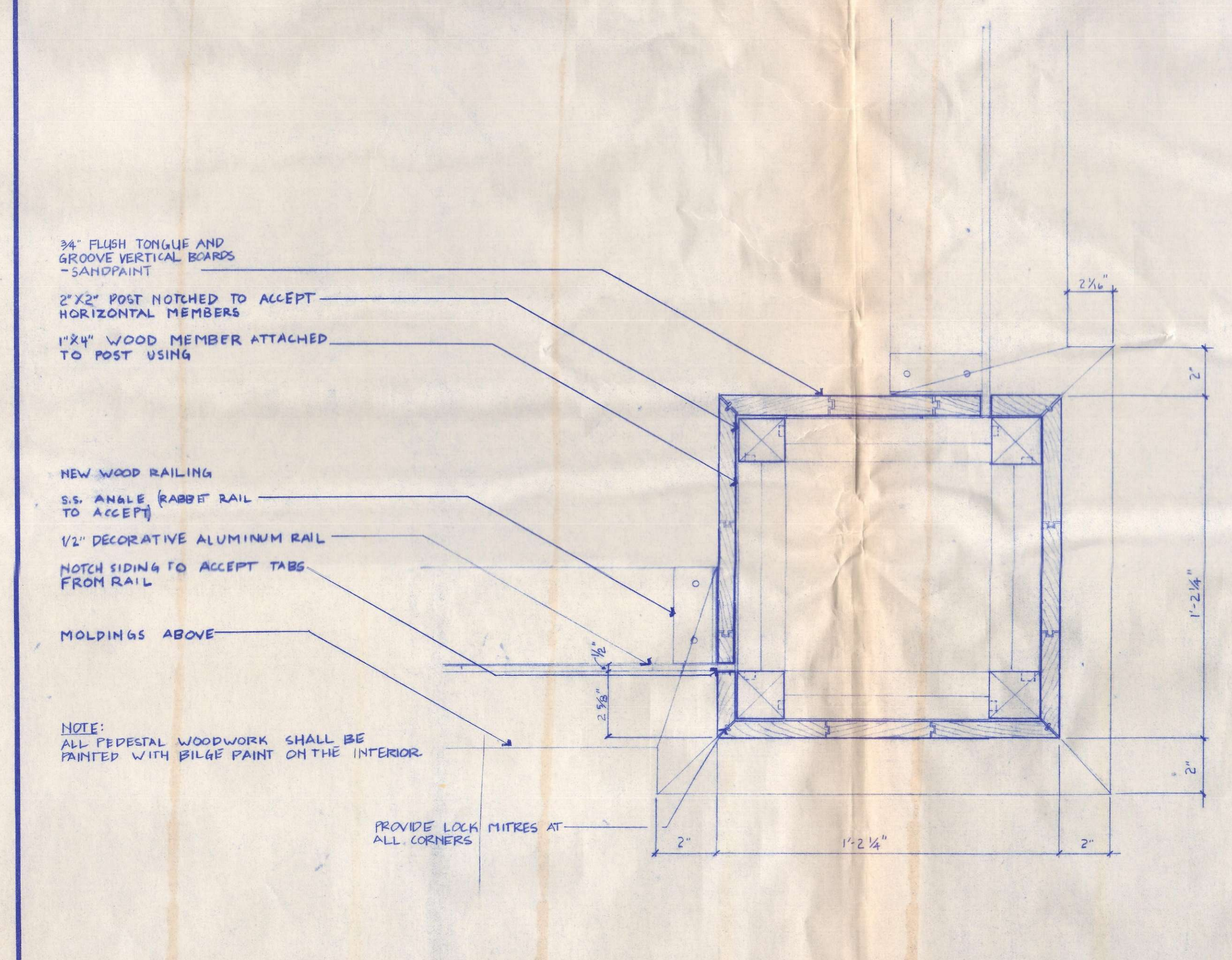


1 PEDESTAL AXONOMETRIC  
SCALE: 3/4" = 1'-0"

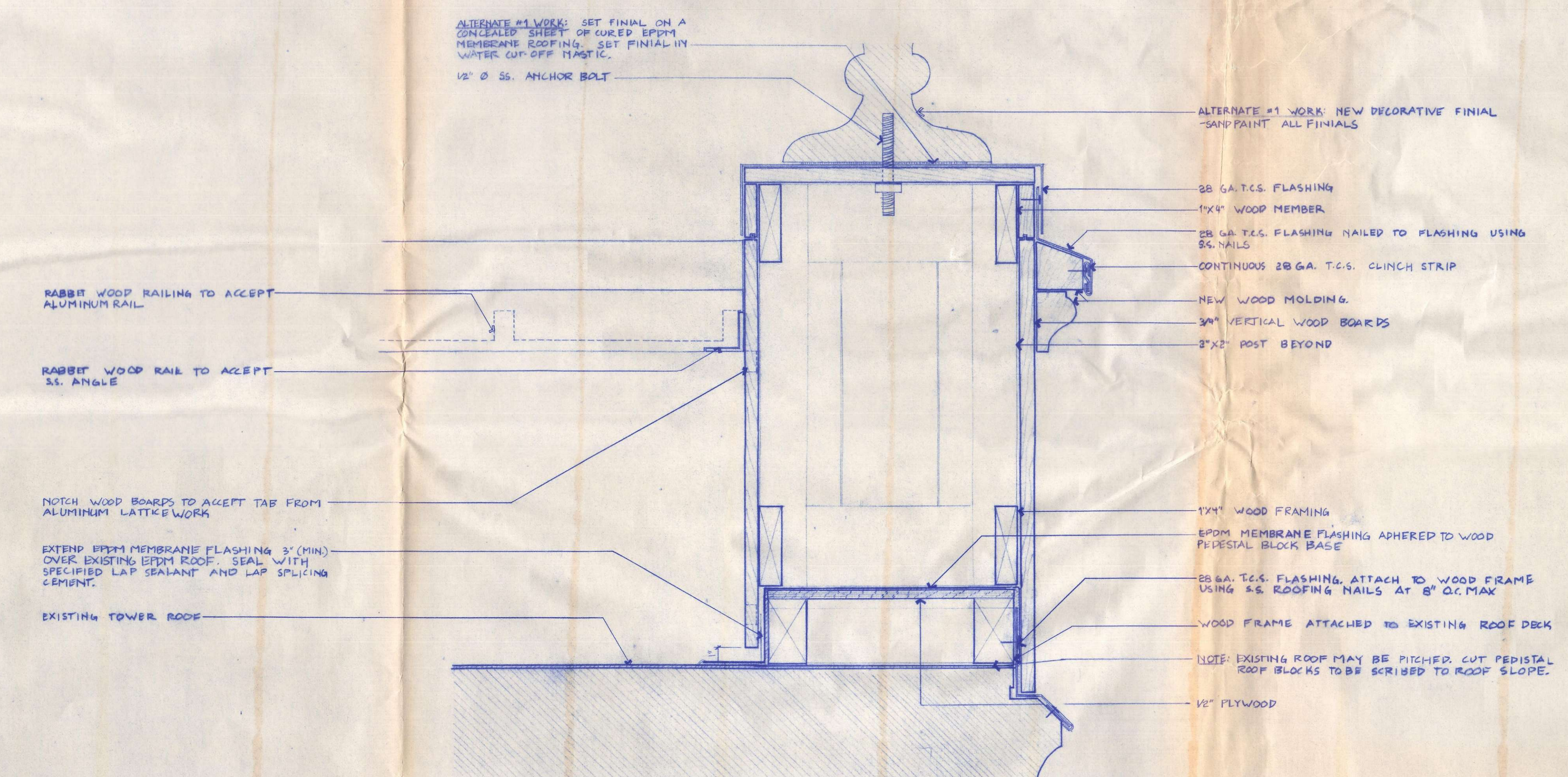
NOTE: ALL SCREWS, FASTENERS AND NAILS SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED.



4 FLAGPOLE FASTENING DETAIL  
SCALE: 1 1/2" = 1'-0"



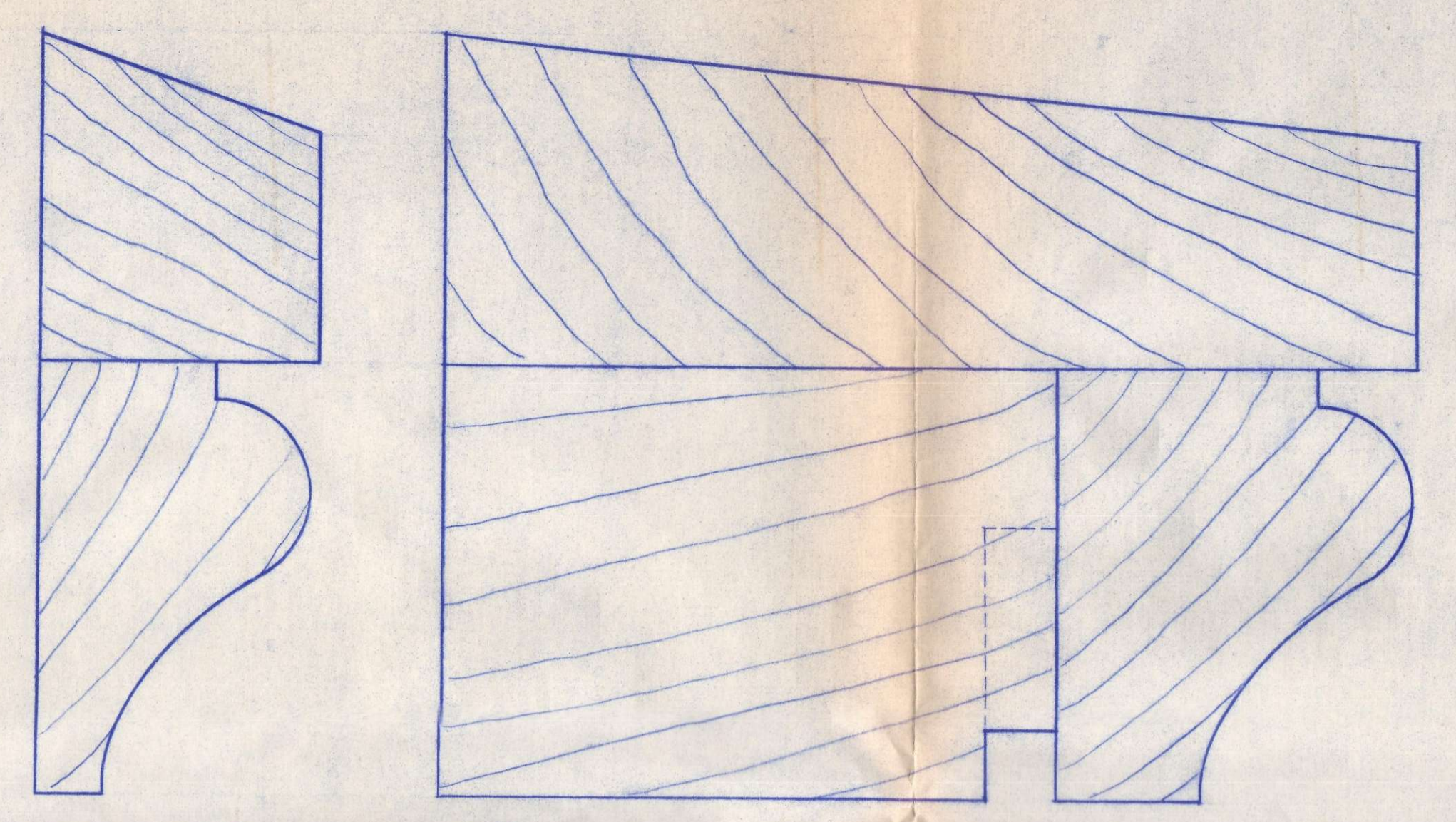
3 PEDESTAL DETAIL  
SCALE: 3/4" = 1'-0"



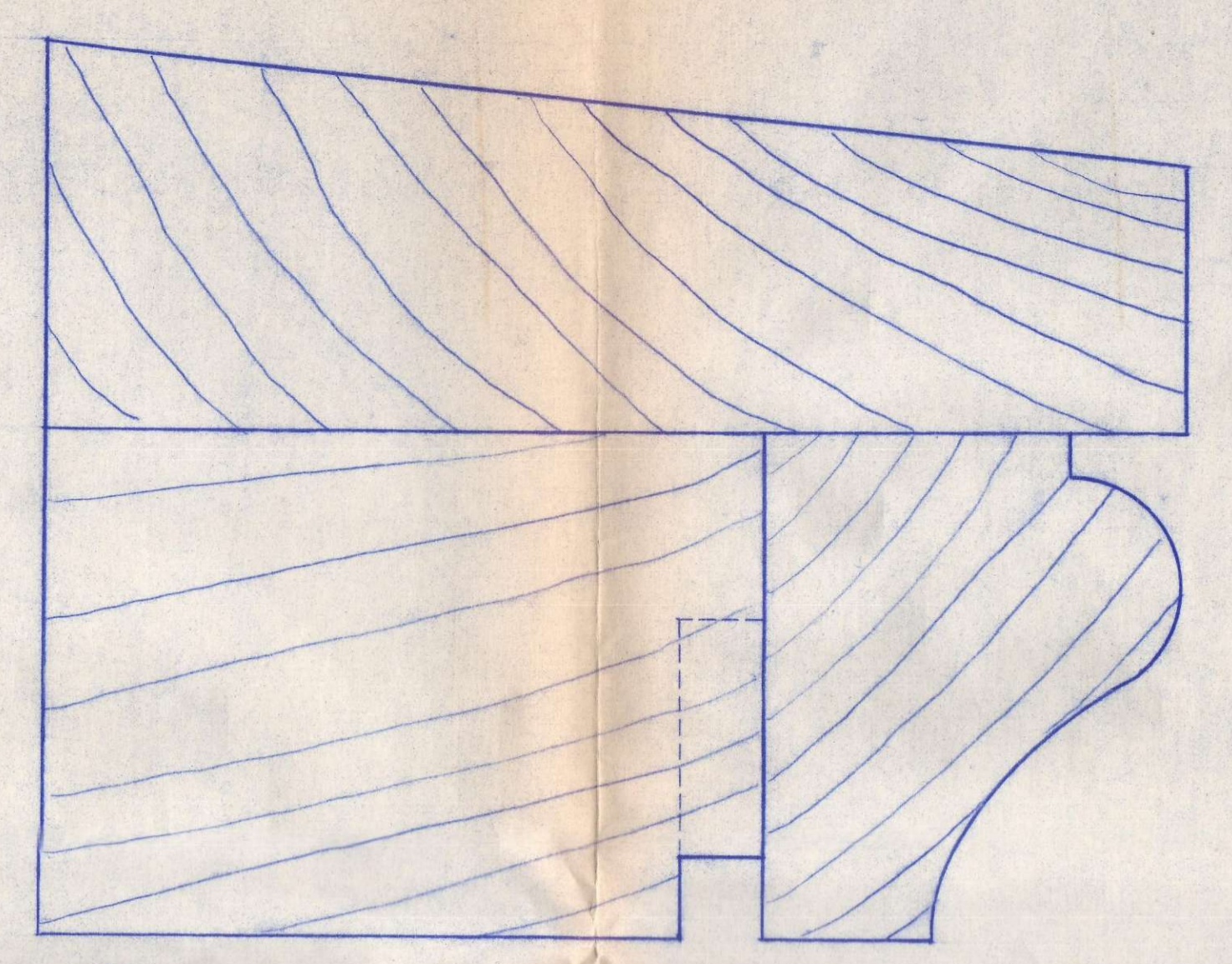
4 PEDESTAL SECTION  
SCALE: 3/4" = 1'-0"



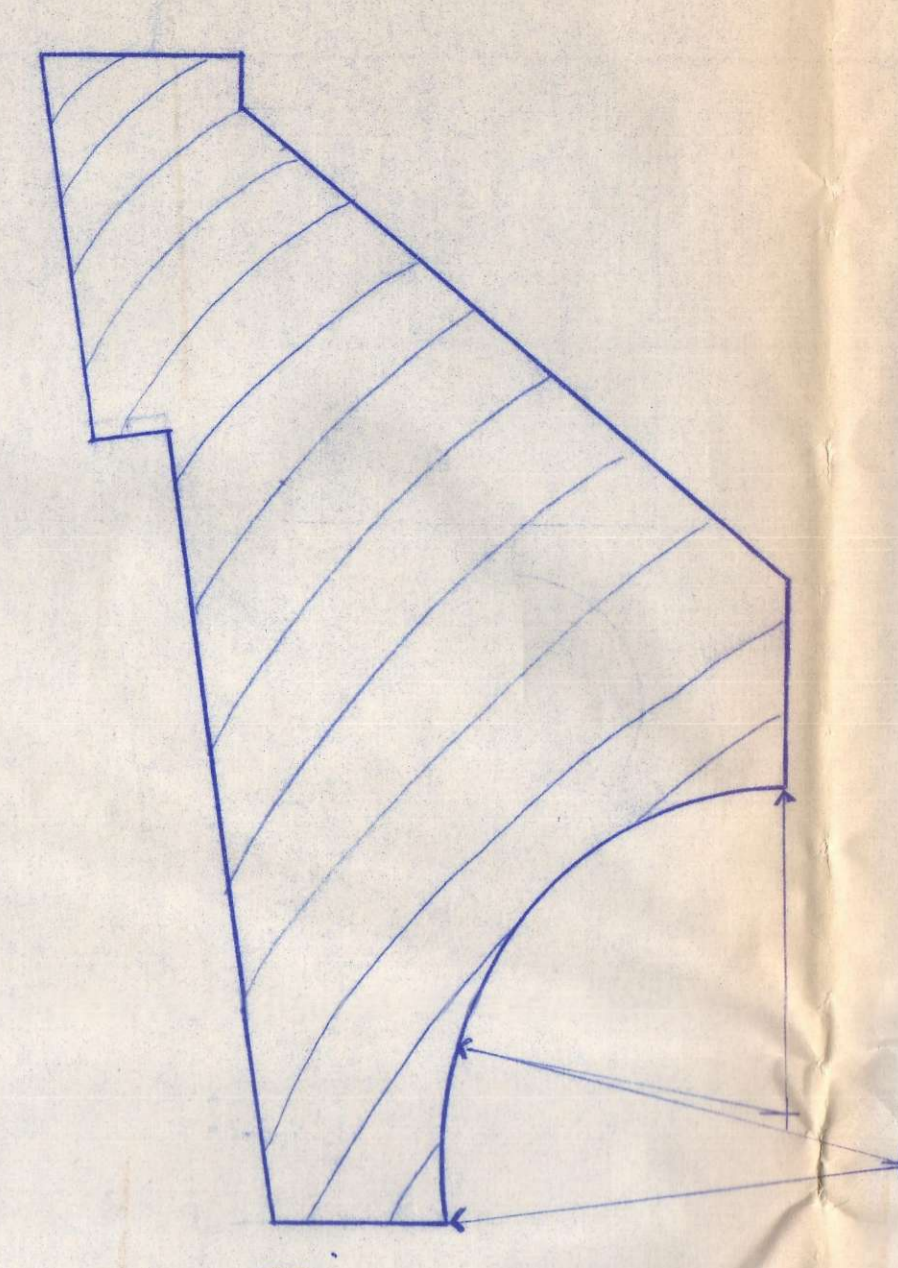
SCALE
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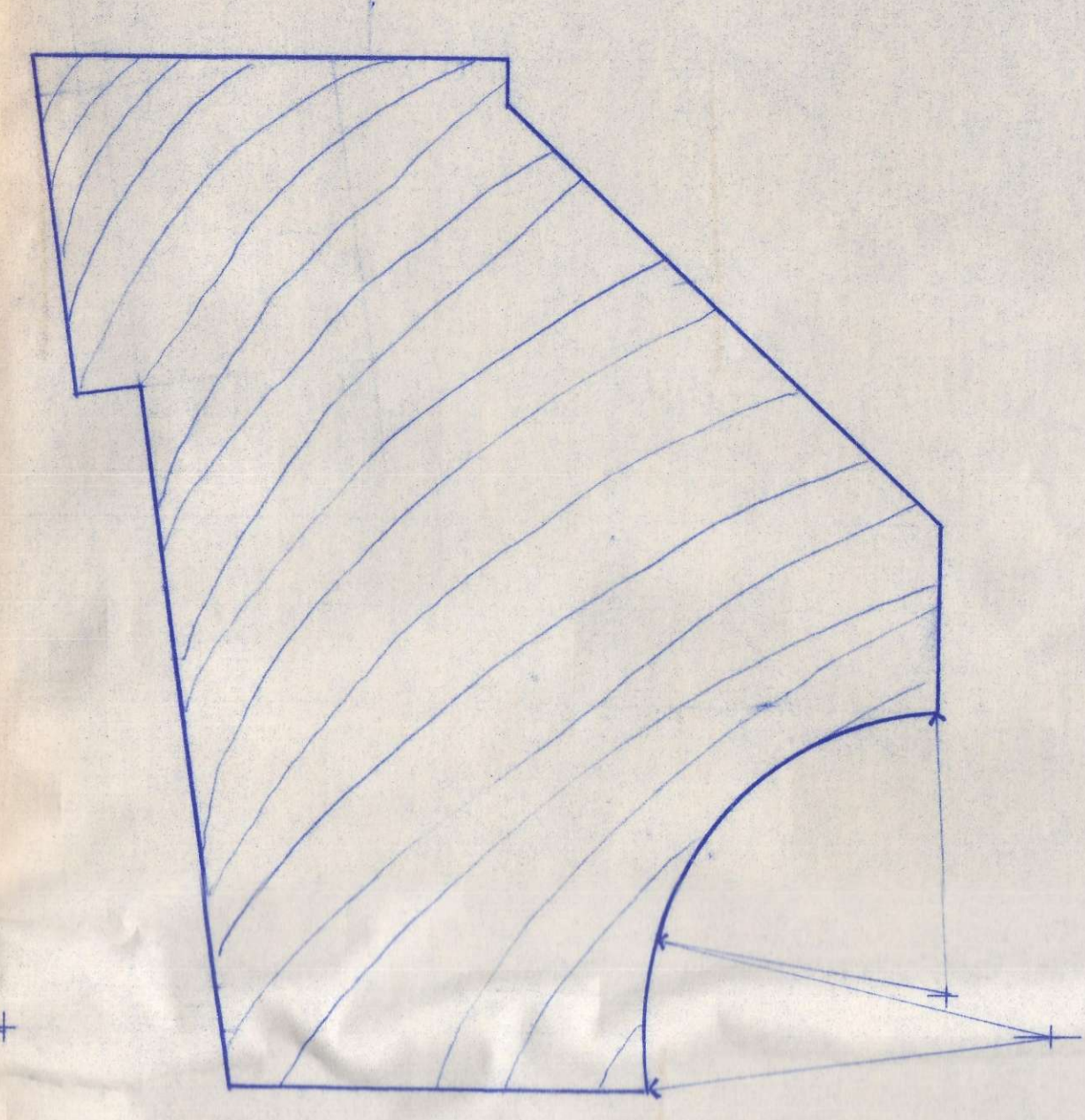
4 WOOD MOLDING PROFILE AT PEDESTAL BLOCK FULL SIZE  
 A-2



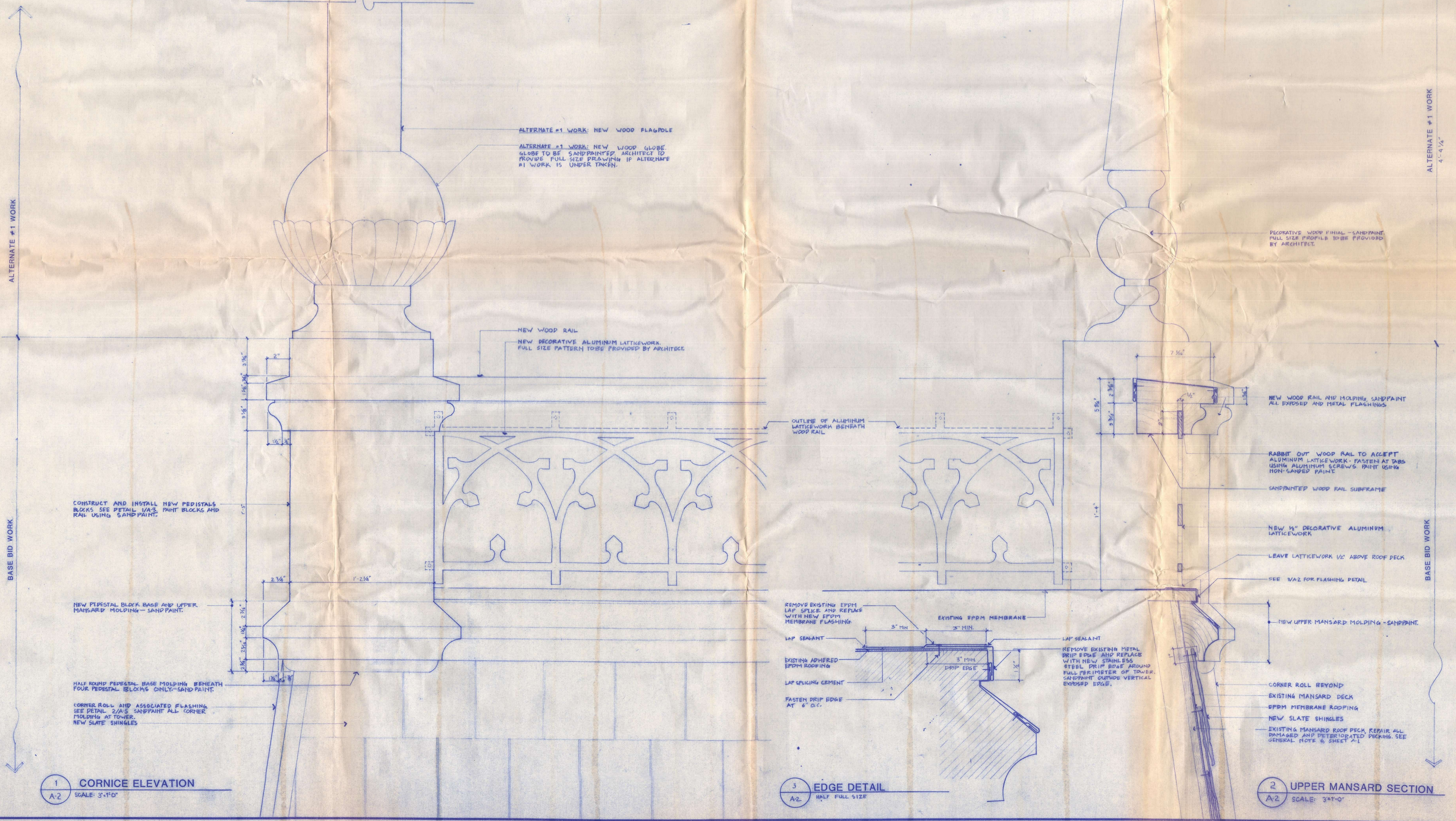
5 WOOD MOLDING PROFILE AT DECORATIVE RAIL FULL SIZE  
 A-2



6 UPPER MANSARD MOLDING PROFILE AT DECORATIVE RAIL FULL SIZE  
 A-2



7 UPPER MANSARD MOLDING PROFILE AT PEDESTAL BLOCK BASE FULL SIZE  
 A-2



1 CORNICE ELEVATION  
 A-2 SCALE: 3/160"

3 EDGE DETAIL  
 A-2 HALF FULL SIZE

2 UPPER MANSARD SECTION  
 A-2 SCALE: 3/81-0"

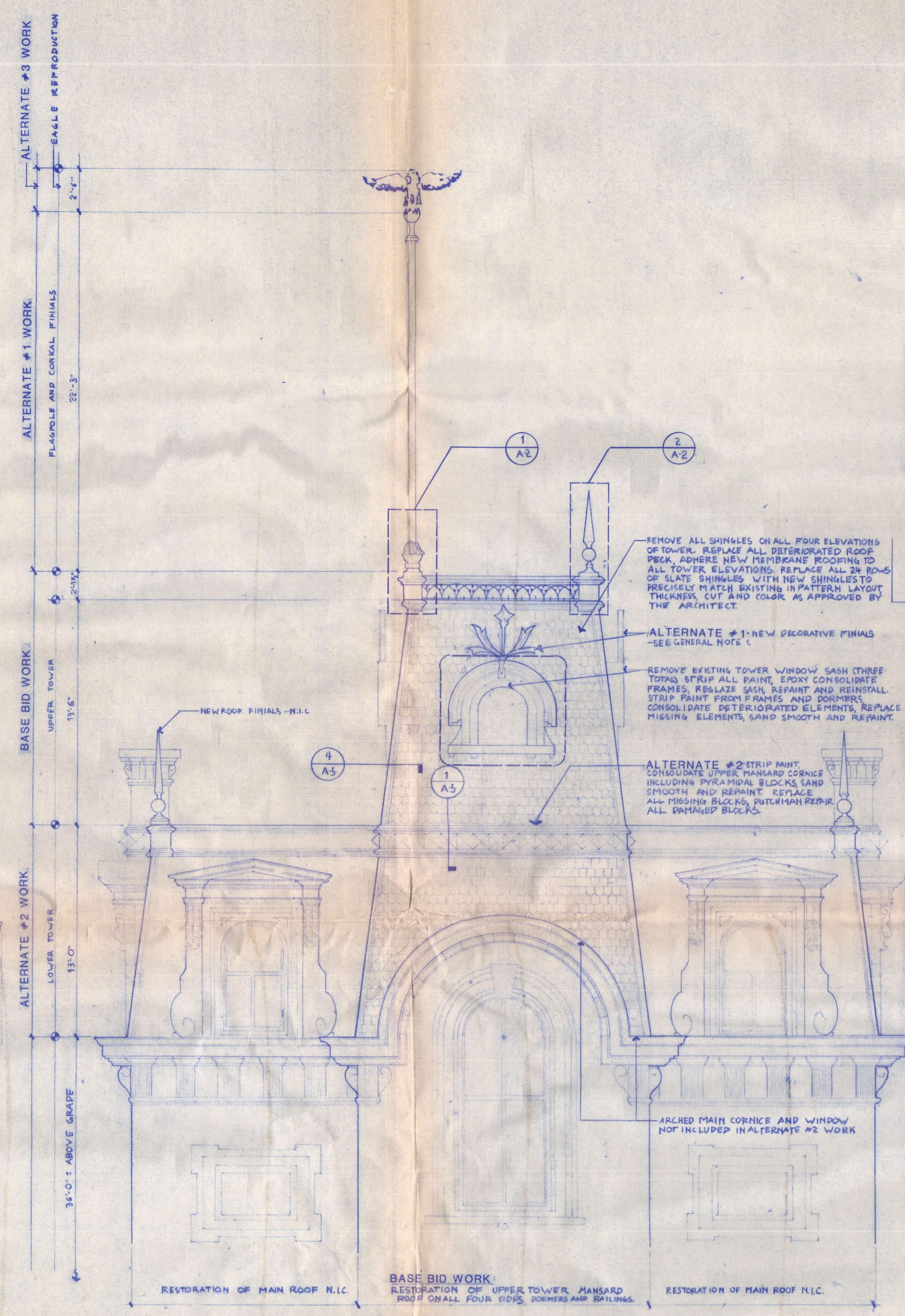


TOWER ELEVATIONS

MESICK • COHEN • WILSON • BAKER • ARCHITECTS, LLP  
 324 BROADWAY ALBANY, NEW YORK 12207 518-433-8984

ST. JOHNSBURY ATHENAUM  
 ST. JOHNSBURY, VERMONT

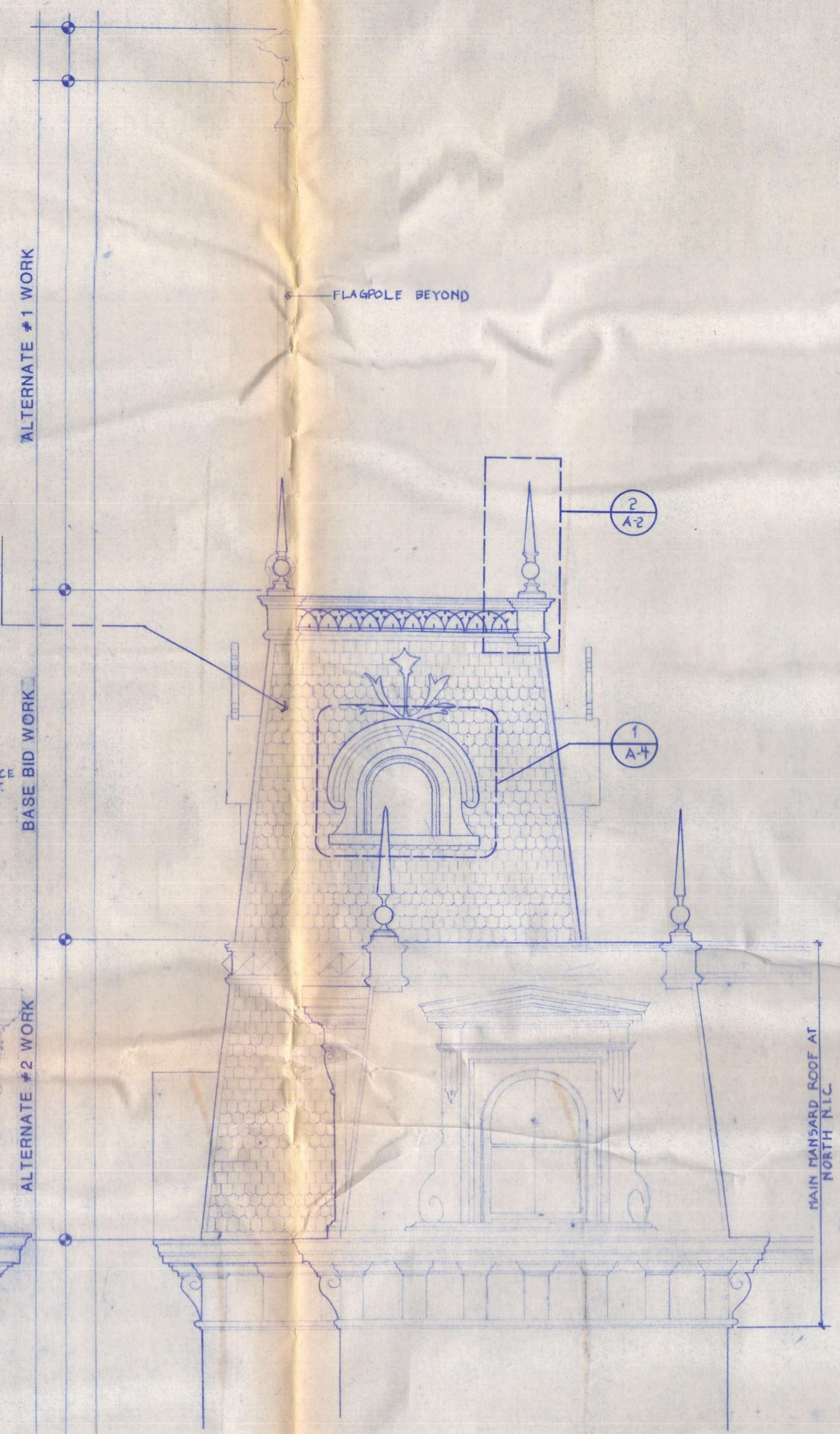
SCALE  
 COMMISSION NO. 75-03  
 DRAWN BY P.L.G.  
 DATE 7-17-75  
 REVISED



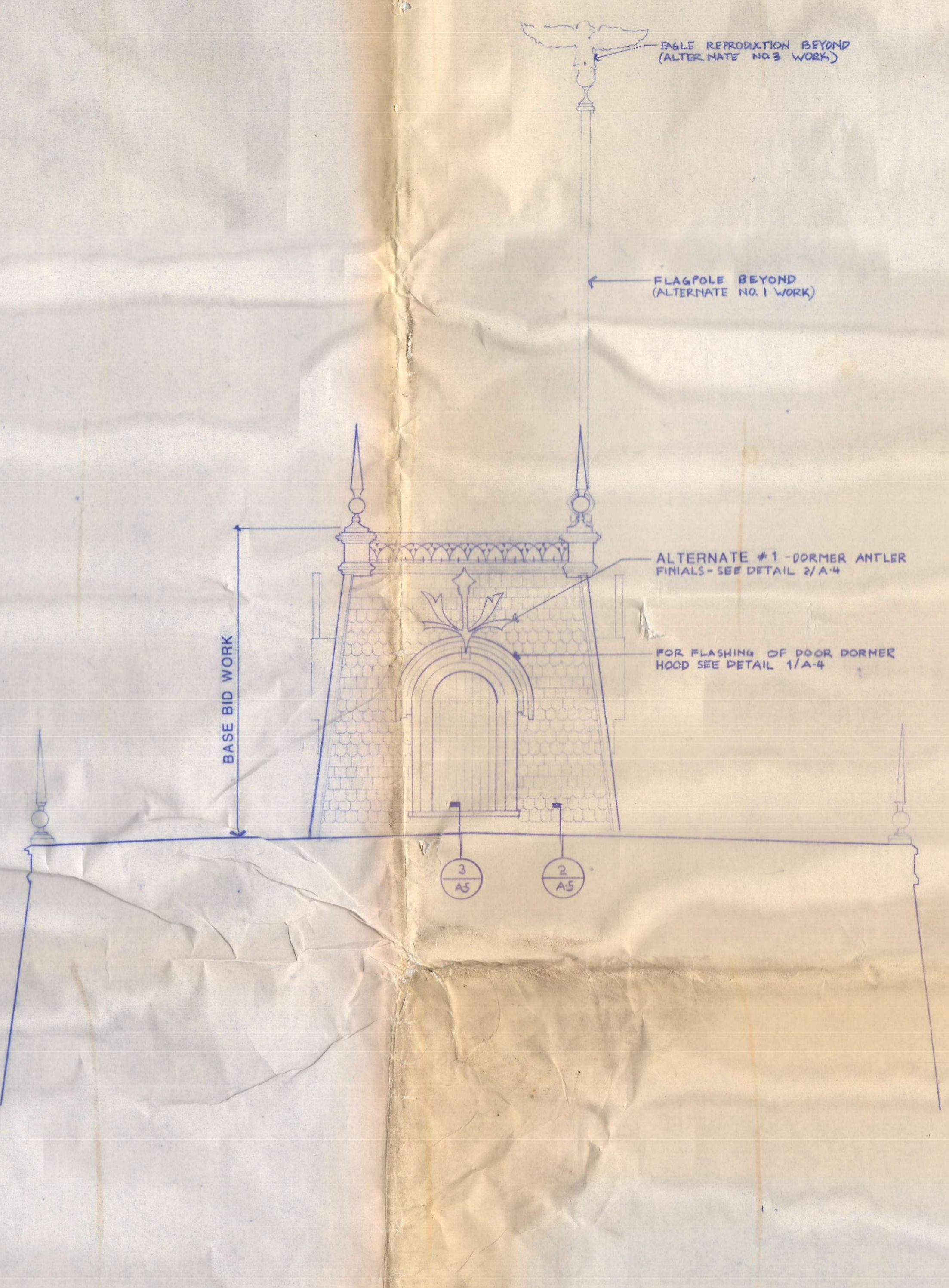
1 PARTIAL EAST ELEVATION  
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

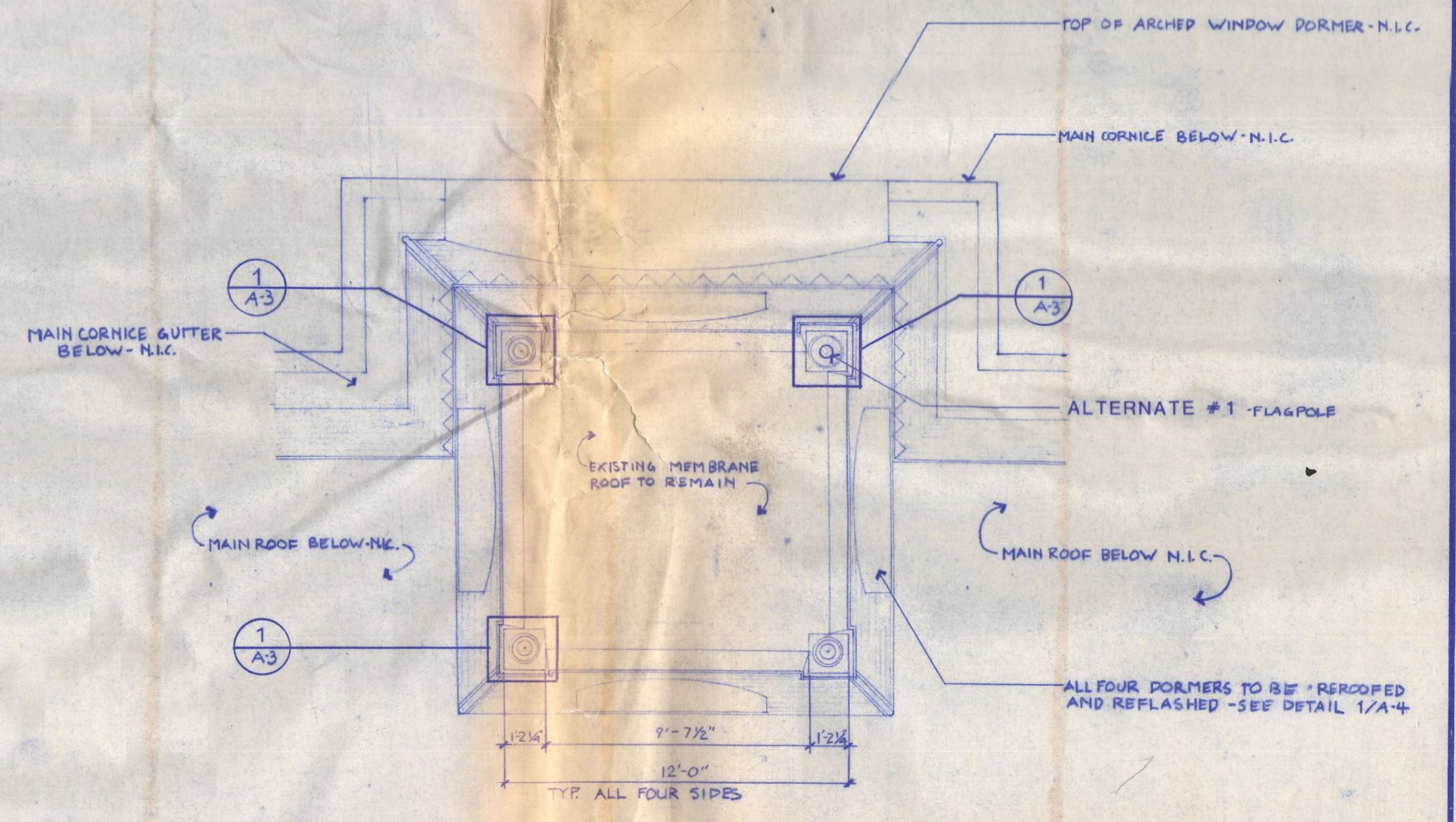
1. THE PRECISE PATTERN OF THE ANTLER FINIALS TO BE INSTALLED ON THE FOUR ELEVATIONS OF THE UPPER TOWER SHALL BE SUPPLIED BY THE ARCHITECT IN THE FORM OF FULL SIZE DRAWING.
2. WITH THE EXCEPTION OF WINDOW SASH, THE TOWER ROOF TO THE WEST AND THE FLAGPOLE, ALL SURFACES NOTED TO BE PAINTED SHALL BE PAINTED WITH SAND PAINT. APPLY PAINT AS SPECIFIED IN THE PROJECT MANUAL.
3. IF ALTERNATE NUMBER ONE IS ACCEPTED FULL SIZE DRAWINGS OF THE CORNER SALVETRADER FINIALS AND THE FLAGPOLE BASE AND CAP WILL BE PROVIDED BY THE ARCHITECT.
4. BEFORE EPOXY CONSOLIDATION AND REPLACEMENT WORK, ALL COMPONENTS SHALL BE INSPECTED BY THE ARCHITECT TO DETERMINE THE EXTENT OF REPLACEMENT VERSUS EPOXY REPAIR. NO ORIGINAL BUILDING FABRIC IS TO BE DISCARDED UNTIL IT HAS BEEN INSPECTED BY THE ARCHITECT.
5. IT IS THE INTENT OF THE OWNER TO SALVAGE AS MUCH OF THE EXISTING SLATE AS POSSIBLE FOR FUTURE USE. ALL SLATE SHALL BE CAREFULLY REMOVED TO PREVENT DAMAGE TO THE GREATEST EXTENT POSSIBLE AND NEARLY STOCKPILED IN A MANNER TO INSURE A MINIMUM OF DAMAGE. STOCKPIILING WILL BE ON THE SITE IN A LOCATION DESIGNATED BY THE OWNER.
6. SEE THE ALLOWANCE SECTION OF THE PROJECT MANUAL FOR INFORMATION ON THE \$1500.00 ALLOWANCE FOR THE REPAIR OR REPLACEMENT OF DAMAGED AND DETERIORATED ROOF PECK.



2 NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



4 TOWER ROOF PLAN  
 SCALE: 1/4" = 5'-0"





6

STATE OF VERMONT  
AGENCY OF DEVELOPMENT AND COMMUNITY AFFAIRS

DIVISION FOR HISTORIC PRESERVATION  
*Preserving Vermont's historic, architectural and archeological resources*

July 23, 1992

Gael Stein  
St. Johnsbury Athenaeum  
30 Main Street  
St. Johnsbury, Vermont 05819

Dear Ms. Stein,

The Division for Historic Preservation and the Vermont Advisory Council on Historic Preservation are very pleased to inform you that your project for the St. Johnsbury Athenaeum been awarded a 1992 State Historic Preservation Grant of \$2,035. Forty-six applications were submitted to the Division requesting over \$321,850 in matching funds, for projects totaling over \$731,330. The selection process was difficult and very competitive.

The Council stipulated that the grant award is contingent upon the Division's prior approval of the design solution for the water problem at the eaves.

As clearly stated in the Grant Manual, it is imperative that no work begin on your building until a grant agreement with the Division has been signed. The agreement will include a written description of the work to be performed, following the guidelines of the Secretary of the Interior's Standards for Historic Preservation Projects.

Mary Jo Llewellyn, the Division's Historic Preservation Grants Manager, will call you in the next several weeks to set up a meeting, on-site at your project building, to discuss the Scope of Work and details of the grant program.

Congratulations on your grant award. We look forward to working with you in this program to enhance Vermont's heritage, and we commend you on your commitment to historic preservation.

Sincerely,

A handwritten signature in cursive script, appearing to read "Eric Gilbertson".

Eric Gilbertson  
Director, Division for Historic Preservation

EG/mjl

cc: Sen. John McClaughry  
Sen. Joseph Sherman  
Rep. Elmer Faris

Rep. George Crosby  
Rep. William Stowe

ST. JOHNSBURY ATHENAEUM PRESERVATION PROJECT

(92-8)

Project Description: Drainage Improvement; Installation of drip edge detail at four mansard junctures on north side.

1. The existing concrete apron along the north wall of the Library will be demolished and removed and disposed of properly.
2. The sod and soil on the north side will be stripped and removed to a depth of 4 inches below the proposed finish grade.
3. The newly exposed subgrade will be graded to establish good positive drainage away from the building.
4. Stable, impervious fabric 6 feet wide will be installed along the wall.
5. A gravel drip 3 feet wide and 1 1/2 inches deep will be installed at the wall.
6. The lawn area will be covered with 4 inches of fine grade topsoil, graded positively from the wall, and seeded.
7. Four lead-coated copper drip edges will be fabricated and installed at the bottoms of each mansard arch along this wall, in order to force much of the roof water run-off to drip off the edge, rather than to flow down the brick wall.

(End of Project Description)

1992 STATE HISTORIC PRESERVATION GRANTS APPLICATION

Applications must be received at the Division for Historic Preservation by 4:30 p.m. on Friday, June 26, 1992, or be postmarked by Wednesday, June 24, 1992. In fairness to all applicants, incomplete applications or those received after the deadline will NOT be considered.



VERMONT DIVISION for HISTORIC PRESERVATION

NEW Office location: 135 State Street  
Montpelier, Vermont  
Mailing address: 109 State Street  
Montpelier, VT 05609-1201  
Telephone: (802) 828-3226

Please refer to the "1992 State Historic Preservation Grants Manual" before completing this application form.

- 1. Check this box if you are applying for a Special Grant. Read pages 15 -17 of the Grant Manual and complete the entire application.

PROPERTY NAME: St. Johnsbury Athenaeum  
STREET ADDRESS: 30 Main Street  
TOWN/CITY: St. Johnsbury, VT 05819

- 2. PROPERTY OWNER: St. Johnsbury Athenaeum, Inc.  
ADDRESS: 30 Main Street, St. Johnsbury, VT 05819  
DAYTIME phone number(s): 1-802-748-8291  
OWNERSHIP STATUS (check one):

Municipality \_\_\_\_\_ Non-profit X Other (explain) \_\_\_\_\_

- 3. APPLICANT NAME: St. Johnsbury Athenaeum, Inc.  
Address: 30 Main Street, St. Johnsbury, VT 05819  
Daytime phone: 1-802-748-8291

PERSON AUTHORIZED TO EXECUTE CONTRACTS FOR APPLICANT

Name: Gael Stein  
Title: Director  
Daytime phone: 1-802-748-8291

PERSON RESPONSIBLE FOR ADMINISTERING THE PROJECT

Name: Gael Stein, Director  
Address: 30 Main Street, St. Johnsbury, VT 05819  
Daytime phone: 1-802-748-8291

*Steve DANFORTH  
748-5239*

- 4. NATIONAL REGISTER OF HISTORIC PLACES Status:

\_\_\_\_\_ Individually listed on the National Register  
X \_\_\_\_\_ Listed on the National Register as part of an historic district  
Name of HISTORIC DISTRICT St. Johnsbury Historic District  
\_\_\_\_\_ Not listed on the National Register of Historic Places (See Section 17)

5. PROPERTY USE: How will this project promote the best long-term use of the building? Describe the accessibility of the property to the public, the nature of community involvement with the property, and the extent of community support for the project. If the project is in a Certified Local Government municipality (Bennington, Rockingham, Warren, Waitsfield, Fayston, Shelburne and soon Burlington), attach comments from the local historic preservation commission.

This project will help to preserve the building and prevent further damage to the foundation and basement. The building is a public library and art gallery that is open to the public 48½ hours per week. Approximately 40% of the operating budget comes from an annual town appropriation. The remaining 60% of the budget comes from an endowment fund which is administered by the Board of Trustees. Substantial gifts from local citizens and local businesses are given to the operating fund each year. The Art Gallery is supported in part by annual fund raising events. Funds from these events are used to restore and preserve paintings as well as maintain the building.

6. HANDICAPPED ACCESSIBILITY: Is the building handicapped accessible? If so describe that accessibility. If not, are the programs accessible? Describe how they are accessible. If the building is not accessible, are you working on plans to make it accessible? Use additional sheets if necessary.

No. At present the building is not accessible. We have established a volunteer program to deliver books on request and are available to take slide presentations of the Art Gallery to area nursing homes and senior centers. A number of children's programs are held on the grounds or at a local church's grounds. It is the strong intent of the Athenaeum's staff and trustees that the facility be made accessible to people with physical disabilities. At present the trustees are considering two plans which will provide access to the main floor of the Library and the Art Gallery and will provide a handicap accessible restroom on the main floor. An architect has drawn up plans for the two possibilities. The Trustees are evolving these plans and are working on fund raising for the project. Copies of the blueprint will be provided upon request. A copy of our Long Range Capital Improvement Plan is attached.

7. DESCRIBE ANY WORK that has been performed on the building in the last five years. Note if a State Historic Preservation Grant funded any work. Use additional sheets if necessary.

The Athenaeum received a grant of \$7,500.00 in July of 1988 to complete necessary repairs to the roof and skylight of the building. Other projects that have been completed in the last five years are repairs to one of the chimneys, painting and carpeting in the entry, the main stair well and three of the main rooms, and refinishing of the floor in the Art Gallery.

8. DESCRIBE THE PROPOSED PROJECT. Use additional sheets if necessary.

The proposed project is to solve the problem of rain water running off the roof and causing flooding in the North Side of the basement. This water is causing damage to the exterior brick work and to the foundation of the building. For more detail please refer to the enclosed Long Range Capital Improvement Plan P.7.



STATE OF VERMONT

AGENCY OF DEVELOPMENT AND COMMUNITY AFFAIRS

MONTPELIER, VERMONT 05602

OFFICE OF THE SECRETARY (802) 828-3211

ELBERT G. MOULTON, SECRETARY

July 28, 1988

DEPARTMENTS OF:

Economic Development 828-3221  
Housing & Community Affairs 828-3217

DIVISIONS OF:

Administration 828-3231  
Historic Preservation 828-3226  
Vermont Travel Division 828-3236  
Film Bureau 828-3236  
Vermont Life Magazine 828-3241

St. Johnsbury Athenaeum  
c/o Gail Stein  
30 Main Street  
St. Johnsbury, VT 05819

Dear Ms. Stein:

The Division for Historic Preservation and the Advisory Council on Historic Preservation have reviewed the applications for the State Historic Preservation Grant Program. While only \$100,000 was available for funding projects statewide, the 78 applications totalled nearly \$400,000 in grant requests. Twenty-four projects were selected for funding, and we are pleased to inform you that your project has been awarded a grant of \$7,500.

You should not begin work on your grant project until you have received written permission from the Division. Ray Zirblis, the Architectural Historian who is administering the grants, will be calling to arrange a meeting with you on-site to discuss your project and the details of the grant program.

We very much look forward to working with you in this program to enhance Vermont's heritage, and we commend you on your commitment to historic preservation.

Sincerely,

DIVISION FOR HISTORIC PRESERVATION

A handwritten signature in cursive script, reading 'Eric Gilbertson'.

Eric Gilbertson  
Director/State Historic  
Preservation Officer

EG/RZ/gmm

PROJECT DESCRIPTION

THE ST. JOHNSBURY ATHENAEUM (88-8)

1. Main Roof: Replace deteriorated roof and sheet metal flashing over windows. New Roof will be a rubber membrane roof installed as recommended by the manufacturer.
2. Art Gallery Roof: Replace the deteriorated roof with new rubberized membrane roof.
3. Skylight: Scrape metal framework, paint and recaulk framework. Paint with a rust resistant, top-quality metal paint.
4. Protection of Gallery Interior: Remove painting to special racks and build plywood framework around larger painting as necessary. Another method of protection may be used if agreed to by the Grantee and the Division for Historic Preservation.

End of Project Description

RECEIVED DEC 15 1988

# St. Johnsbury Athenæum

30 Main Street • St. Johnsbury, Vermont 05819 • (802) 748-8291

1988 STATE HISTORIC PRESERVATION GRANT

FINAL REPORT

SUBMITTED BY GAEL STEIN

Public Library and Art Gallery

12/14/88

The proposed project to preserve the collections of the library and art gallery of the St. Johnsbury Athenaeum by repairing the deteriorating roof and skylight of this building has been completed.

The first step in this project was to protect the paintings inside the gallery from possible damage while repairs were being made to the skylight above them. It had been proposed that we have racks built in another area and remove the paintings to these racks during the work on the skylight. However it was finally decided that the paintings could be effectively protected by enclosing the work area in a large wooden structure thus protecting the paintings without the risks involved with moving them from their original spaces. This plan proved to be very effective. Not only was it safer for the paintings but it also saved over \$2,000.

The second phase of this project was to do the actual work on the skylight. This work was accomplished in several steps. The entire area was sprayed with jets of water to remove loose debris, then the metal trim was sanded and prepared for painting. The glass in the skylight was regouted and the sheet metal in the gutters was repaired. All metal surfaces were given a final coat of paint.

The final phase of this project was to remove the protective structure inside the gallery.

Once the work on the skylight had been completed work was started on the roof of the building. 1/2" fiberboard was attached to present roof areas and then a membrane roof batten-in-seam system was installed. Flashing details were installed on all roof penetrations.

The original estimate for this job was \$20,375 but by using a local roofer with an interest in the building the work was done for \$12,055 at a savings of \$8,320 over the original estimate.

The final cost of the project was \$16,227.82. Enclosed are copies of bills showing costs for each part of the project. Also enclosed is a copy of the proposal given by the roofer with details about materials used in the project.

The entire project created interest in the Athenaeum among local people as well as tourists. People of the community take great pride in the Athenaeum and we feel that this grant has encouraged generous donations from the public in this year's fund drive for the art gallery. We have been approached by one local organization with an offer of financial help for painting and carpeting the main reading room. We feel that the grant from the Division Of Historic

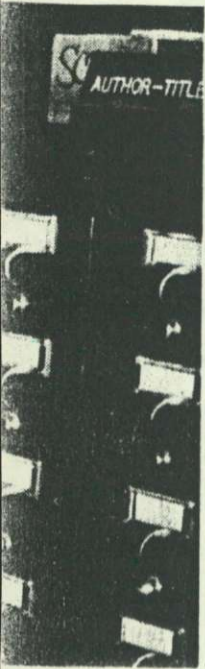
Preservation has really " started the ball rolling". Enclosed is an article published in the Caledonian-Record describing this project. We will also be sending a set of slides showing various phases of the work in progress.

During the work on the roof it became evident that the outside of the building, particularly the trim and detail work, is deteriorating and will need attention soon. The Board of Trustees is working on long range planning that will enable these problems to be corrected.

The Board of Trustees would like to express heartfelt thanks to the Division of Historic Preservation for this grant which has enabled us to complete a major portion of the work that needs to be done to preserve this historic building.

*Gael Stein*  
Gael Stein, Librarian

**POOR QUALITY**  
**ORIGINAL\_\_\_\_\_**



alog file drawers

will give easy access to several. The traditional and familiar catalog will still be used, but only for publications acquired before July 1, 1988. All publications are on the electronic catalog.

There are eight terminals located at LSC's library which are linked directly via eight phone lines with the master computer in Waterbury, at the central offices of Vermont State Colleges. Three of these terminals are available to students. The others are used by the staff who are available to help in searching for information.

"We don't know if three are enough — we hope to have more," Gallagher said in a recent interview. Line switching capability is being added to make the system more flexible.

To speed gathering information even more, it is now possible to access the electronic catalog from privately owned computers in people's homes and businesses, she said. The only thing lacking to put this ac-

## alent Than Believed

clusion is that we... is appropriate." the Hudson model... 2 percent of the... population in the... old have to be in-... et, he said, "their... nsistently high... of populations for... at results."

sts from hospital... y recruits and... V infection rates... ent — 0.2 percent... — among young

used by the HIV... ge of the disease... p for years after a... ith the virus. But... can spread the... ping AIDS. For... are attempting... e of infection to... extent of the

determined by a... identifies an... erum. A person... es is known as

Hudson study... the number of... ed by the virus... higher than CDC

y estimates that... o 1.4 million... ed with the HIV... 000 and 500,000... use drugs. more heterosex-... said Hopkins.

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"A break out into the non-heterosexual population."

The Hudson report said about 118,000 of the heterosexuals infected are "mainstream" population members.

"They are not poor, and they are not IV drug users," Hudson said. "But they are nonetheless carriers of the virus and, through their sexual contacts, can proceed to spread the disease to others of their same class."

The CDC says that as of Aug. 8, AIDS had been diagnosed in 70,208 Americans, of whom more than half — or 39,620 — have died since June 1, 1981. No one is known to have recovered from AIDS.

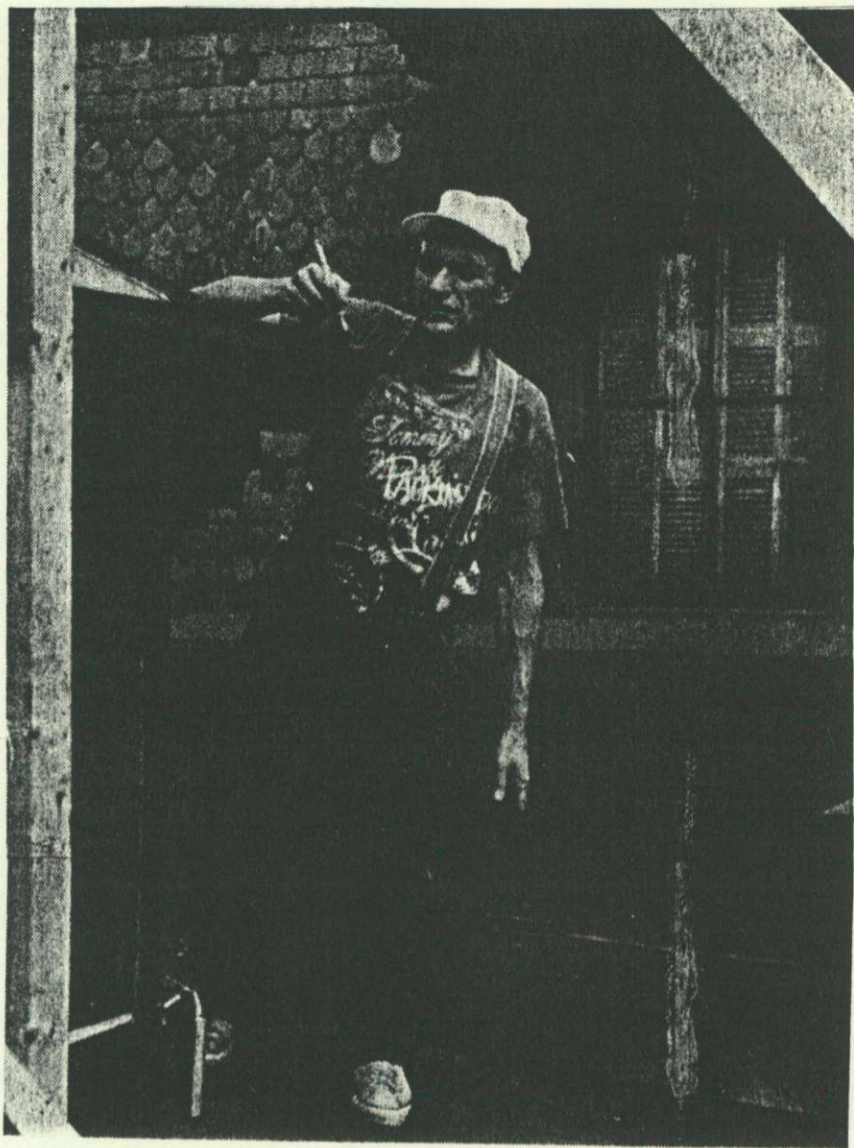
## Venture Capital Fund Invests In Winooski Firm

The Vermont Venture Capital Fund, L.P., a \$7.6 million venture capital investor in privately-held, high growth potential businesses, has announced its first investment in Vermont Microsystems, Inc., (VMI) in Winooski. VMI participates in the computer graphics and desktop publishing industry, providing add-on hardware and software products for professional users of the IBM-PC.

The financing totaled \$2.5 million, of which The Vermont Venture Capital Fund, L.P., invested \$133,000. Other major investors in financing were Hambro Ventures (New York), DSV Venture Partners (New Jersey), Morgan-Holland (Boston), and John Hancock Venture Capital (Boston). The Vermont Venture Capital Fund is headquartered at 7 Burlington Square in Burlington, Vt.

For further information contact Gregory Peters at 658-7840.

**Pea Berry Farm**  
**CORN**  
Follow the signs off Rt. 2, East St. Johnsbury and Rt. 18, Stiles Pond.



Jim Bicknell paints the skylight above the St. Johnsbury Athenaeum art gallery as part of an extensive roof repair project.

## Skylight Work Puts Gallery Off Limits

People who've tried to get a glimpse of the St. Johnsbury Athenaeum's art gallery have recently found huge sheets of plywood blocking the entrance.

Fortunately, it's only a temporary inconvenience, as the gallery is undergoing extensive roof repairs this month.

Librarian Gael Stein said she expects the gallery, which has been closed for the past week-and-a-half, to be reopened within a week. Work crews are repairing and repainting the huge victorian skylight above the gallery, one of only a few remaining examples of such architecture in the country.

A huge plywood box in the center of the gallery protects the paintings from falling debris that might drop from the work crews above.

The box is so large that Stein said library workers have facetiously suggested using the inside for a handball court, or a surface for children to duplicate the paintings it now obstructs.

She said the disappointment people express on seeing the gallery closed is a testament to its popularity.

"Tourists come in and their faces drop. Until we closed it off, we didn't

fully realize the importance of (the gallery)."

Stein regrets the gallery had to be closed in the middle of summer, but said there was no other time to make the repairs. "Once you hit winter, you can't do them," She said.

She is glad the work will be done before fall foliage season, a time when the gallery is busy with tourists.

Work will continue on the roof of the rest of the library after the gallery is reopened.

The Athenaeum received a \$7,500 grant for the repairs by the Vermont State Division of Historic Preservation, the maximum amount grant awarded by the department.

Additional money came from town appropriations and private donations. The repairs will cost a total of \$26,875.

### LUNENBURG

Mrs. Jeanette Lewis visited her niece, Mr. and Mrs. Dennis Tack, recently at the home her sister, Mrs. Blanche Fournier in St. Johnsbury.

Luther, Agnes and Harold Reed attended the second birthday party for Nicholas Jon Farrow at the home of his parents, Bill and Janet Farrow of North Concord. Cake and ice cream were served.

Caledonian Record Sat. August 20, 1988

RECEIVED JUN 27 1988

Applications must be received by 4:30 p.m. on Friday, June 17, or postmarked June 16, 1988. In fairness to all applicants, incomplete applications or those not received by this deadline will not be considered.

VERMONT DIVISION FOR HISTORIC PRESERVATION

58 East State Street  
Montpelier, Vermont 05602  
Telephone: 828-3226

1988 STATE HISTORIC PRESERVATION GRANTS APPLICATION

Please refer to the "1988 State Historic Preservation Grants Manual" before completing the application. Attach pages if more space is required.

1. PROPERTY NAME: ST. JOHNSBURY ATHENAEUM  
ADDRESS: 30 MAIN STREET  
TOWN/CITY: ST. JOHNSBURY, VT. 05819
2. PROPERTY OWNERSHIP (check one): Municipality\_\_\_\_; Non-Profit organization X ;  
Other\_\_\_\_ (explain)  
NAME(S) OF (ALL) LEGAL OWNER(S): SEE ATTACHED SHEET #1

ADDRESS(ES):

TOWN/CITY;

DAYTIME TELEPHONE NUMBER(S):

ZIP CODE:

3. APPLICANT NAME: ST. JOHNSBURY ATHENAEUM  
ADDRESS: 30 MAIN STREET  
TOWN/CITY: ST. JOHNSBURY, VT. ZIP CODE: 05819  
DAYTIME TELEPHONE NUMBER: (802) 748-8291  
NAME AND TITLE OF PERSON(S) AUTHORIZED TO EXECUTE CONTRACTS FOR APPLICANT: GAIL B. STEIN, HEAD LIBRARIAN

NAME AND TITLE OF PERSON RESPONSIBLE FOR ADMINISTERING PROJECT:  
GAIL B. STEIN, HEAD LIBRARIAN

DAYTIME TELEPHONE NUMBER: (802) 748-8291

4. NATIONAL REGISTER OF HISTORIC PLACES STATUS (check one):  
     Listed on the National Register as an individual property  
  X   Listed on the National Register as part of a historic district  
    Name of historic district ST. JOHNSBURY HISTORIC DISTRICT  
     Not listed on the National Register (complete Section 13)
5. PROPERTY USE: SEE ATTACHED SHEET #2  
EXPLAIN ACCESSIBILITY TO THE PUBLIC:

DESCRIBE COMMUNITY INVOLVEMENT WITH THE PROPERTY AND/OR SUPPORT FOR THE PROJECT:

6. PROJECT OBJECTIVE (describe purpose of project and how it will benefit the general public):

SEE ATTACHED SHEET #3

7. DESCRIBE ANY WORK WHICH HAS BEEN DONE TO THE PROPERTY WITHIN THE LAST FIVE YEARS:

SEE ATTACHED SHEET #4

8. WORK DESCRIPTION AND COST ESTIMATES (itemize proposed project work and list cost estimate for each item:

Work Item

Estimate

SEE ATTACHED SHEET # 5

TOTAL PROJECT COST: \$26,875

9. REQUESTED GRANT AMOUNT: \$7,500  
MATCHING SHARE \$19,375

10. MATCHING SHARE SUMMARY (describe per source):

Source: Friends of The Athenaeum Fund  
Amount: \$9,200

Source: Donation from local Corporation  
Amount: (name supplied upon request)  
\$975

Source: Town Appropriation  
Amount: \$9,200

Source:  
Amount:

11. ATTACHMENTS (REQUIRED):

35 mm color slide(s) which clearly illustrate the property;  
Current, clear, labeled photograph of the property (no postcards or instant snapshots, please);  
Clear, labeled photograph(s) illustrating proposed work items, as needed;  
Map showing exact location of property;  
Non-profit organizations must attach proof of non-profit status

12. CERTIFICATION:

I certify to the best of my knowledge the information provided in this application is complete and accurate.

NAME: GAIL B. STEIN  
TITLE: HEAD LIBRARIAN

SIGNATURE:

*Gail B. Stein*

DATE: 6/24/88

5. PROPERTY USE:

EXPLAIN ACCESSIBILITY TO THE PUBLIC

PUBLIC LIBRARY AND ART GALLERY. OPEN FREE OF CHARGE TO THE PUBLIC MONDAY AND WEDNESDAY 9:30-8:00, TUESDAY, THURSDAY, FRIDAY, AND SATURDAY 9:30-5:00.

DESCRIBE COMMUNITY INVOLVEMENT WITH THE PROPERTY AND/OR SUPPORT FOR THE PROJECT:

40% OF THE OPERATING BUDGET COMES FROM AN ANNUAL TOWN APPROPRIATION. 60% OF THE BUDGET COMES FROM AN ENDOWMENT FUND WHICH IS ADMINISTERED BY THE BOARD OF TRUSTEES. SUBSTANTIAL GIFTS FROM PRIVATE CITIZENS AND LOCAL BUSINESSES ARE GIVEN TO THE OPERATING FUND EACH YEAR. THE ART GALLERY IS SUPPORTED IN PART BY AN ANNUAL FUND RAISING DRIVE. FUNDS FROM THIS DRIVE ARE USED TO RESTORE AND PRESERVE THE PAINTINGS AS WELL AS TO MAINTAIN THE BUILDING. A SPECIAL APPROPRIATION WAS PASSED BY THE CITIZENS OF ST. JOHNSBURY THIS YEAR FOR \$9,200.00 TO BE USED TOWARD REPAIRING THE ROOF.

6. PROJECT OBJECTIVE:

THE PURPOSE OF THIS PROJECT IS TO PRESERVE ONE OF THIS COUNTRY'S OLDEST UNALTERED ART GALLERIES AND PUBLIC LIBRARIES BY MAKING REPAIRS TO THE MAIN ROOF OF THE BUILDING, THE ROOF OF THE ART GALLERY ADDITION, AND THE SKYLIGHT OVER THE ART GALLERY. IT WILL ALSO BE NECESSARY TO PROTECT THE COLLECTION OF ART WORKS WHILE REPAIRS ARE BEING MADE TO THE SKYLIGHT. RECENT TEMPORARY REPAIRS HAVE STABILIZED THE CONDITION OF THE ROOF OVER THE ART GALLERY. HOWEVER, IT IS NO LONGER POSSIBLE TO DO TEMPORARY "PATCH JOBS" ON THE MAIN ROOF DUE TO THE EXTENT OF THE DETERIORATION. IT IS URGENT THAT A THOROUGH JOB BE COMPLETED IMMEDIATELY TO PREVENT FURTHER DAMAGE FROM LEAKS WHICH THREATEN A LARGE PART OF THE COLLECTION OF BOOKS AS WELL AS PAINTINGS. ALSO, THE GLASS SKYLIGHT IN THE ART GALLERY WHICH HAS BEEN JUDGED STRUCTURALLY SOUND BY AN ARCHITECT AND TWO ENGINEERS MUST BE MAINTAINED TO ENSURE THE SAFETY OF OBJECTS AND PEOPLE BELOW. DURING THIS PERIOD OF THE PROJECT, THE WORKS OF ART IN THE GALLERY MUST BE PROTECTED BY MOVING THEM TO SPECIALLY BUILT RACKS AND, IN THE CASE OF THE LARGER PAINTINGS, CONSTRUCTING A PROTECTIVE FRAMEWORK AROUND THEM.

PHOTOGRAPHS OF THE CONDITION OF THE SKYLIGHT AND ROOFS ARE INCLUDED. ALSO INCLUDED ARE SLIDES SHOWING RECENT LEAK DAMAGE TO ONE OF THE PAINTINGS WHICH HAS BEEN REPAIRED AND THE EXISTING CONDITIONS IN THE MAIN PART OF THE LIBRARY.

7. DESCRIBE ANY WORK WHICH HAS BEEN DONE TO THE PROPERTY WITHIN THE LAST FIVE YEARS:

A MAJOR CONCERN OF THE TRUSTEES IS THE SECURITY OF THE PAINTINGS AS WELL AS THE LIBRARY COLLECTION. WITH THIS IN MIND, A FIRE ALARM SYSTEM HAS BEEN INSTALLED THROUGHOUT THE ENTIRE BUILDING INCLUDING THE GALLERY, THE BASEMENT, AND THE ATTIC.

A NEW ROOF HAS BEEN INSTALLED OVER THE CONNECTING SECTION TO THE ART GALLERY AND EXTENSIVE REPAIRS HAVE BEEN MADE TO PREVENT LEAKING IN BOTH THE GALLERY AND THE MAIN PART OF THE BUILDING. THE ROOF AND THE SKYLIGHT HAVE BEEN CAREFULLY EXAMINED BY AN ARCHITECT AND TWO ENGINEERS IN ORDER TO ASSESS THE AMOUNT OF DETERIORATION THAT HAS OCCURRED IN THIS AREA AND WHAT MEANS SHOULD BE TAKEN TO PREVENT FURTHER DAMAGE. SEVERAL CHIMNEYS THAT ARE NO LONGER IN USE HAVE BEEN CAPPED TO PREVENT DETERIORATION AND THE CHIMNEY THAT REMAINS IN USE WAS REBUILT IN 1988.

# St. Johnsbury Athenæum

30 Main Street • St. Johnsbury, Vermont 05819 • (802) 748-8291

The St. Johnsbury Athenæum was built as a public library and presented to the townspeople of St. Johnsbury by Horace Fairbanks in 1871. A nephew of the man who invented the platform scale, Horace was a partner and later president of the E. and T. Fairbanks Company, the scale manufacturing industry whose development so much influenced the history and growth of St. Johnsbury. Mr. Fairbanks also served as Governor of the State of Vermont. The elegant Victorian building was designed by John Davis Hatch of New York and built by Lambert Packard of St. Johnsbury. The building is characterized by high cathedral ceilings, tall windows which brighten the interior, elaborate woodwork, floors with alternating strips of oak and walnut, and spiral staircases.

In 1873, an Art Gallery was added to the main building. Horace Fairbanks had acquired a number of copies of classical paintings during his trips to Europe and was also collecting works by contemporary American painters, primarily members of the Hudson River School of Painting. The design of the gallery itself was determined by his purchase of an enormous ten by fifteen foot painting by Albert Bierstadt, "The Domes of the Yosemite." This landscape, prominently situated opposite the entrance to the gallery, overwhelms the viewer with a panorama of nature. The natural light provided by an arched skylight enhances the effect of looking down into the valley from the artist's vantage point.

*Time* magazine (August 20, 1965) described the gallery as "the United States' oldest unaltered art gallery still standing" and indeed there has been a conscious effort to retain its original style and atmosphere. Paintings in the heavy gilded frames of that era hang one above another. White marble statues and busts sit atop pedestals and oak bookcases which contain gold-tooled leather bound books. The gallery is truly an authentic period piece.

Donations of paintings by Horace and other members of the Fairbanks family over the years enlarged the collection from two and a half dozen to what is now a permanent collection of 100 works. The Hudson River School is well represented by such artists as Asher B. Durand (the father of American landscape painting), Joseph Cropsey (known for autumn landscapes), Sanford Gifford (the founder of Luminism), James and William Hart (pastoral landscapes with cattle), Samuel Colman and Worthington Whittredge (Western views).

The fact that a large number of the nineteenth century American paintings were painted to order or purchased directly from the artist has been pointed out by S. Morton Vose II, formerly of the Vose Galleries of Boston, as a unique aspect of this particular collection. An article in the April 1980 issue of *Antiques* magazine describes some of the significant American paintings in the Art Gallery.

The library's book collection, originally consisting of 8,000 finely bound volumes selected with the advice of the noted bibliographer, W. F. Poole, has been augmented and now comprises approximately 40,000 volumes. In addition to books, the library also includes magazines, newspapers, records, reproductions of famous paintings and original works by local artists for home borrowing, a complete set of the local newspaper on microfilm, pamphlets, and paperbacks. Although in actuality an independent private corporation governed by a Board of Trustees, the Athenæum does receive an annual appropriation from the town and, in effect serves as the Public Library for St. Johnsbury.

The St. Johnsbury Athenæum stands as a permanent reminder of the generosity of the Fairbanks family and an invitation to temporarily re-enter the gracious world of the nineteenth century. The public is cordially invited to visit the Library and Art Gallery.

Monday & Friday, 9:30 - 8:00

Tuesday, Wednesday, Thursday, Saturday, 9:30 - 5:00

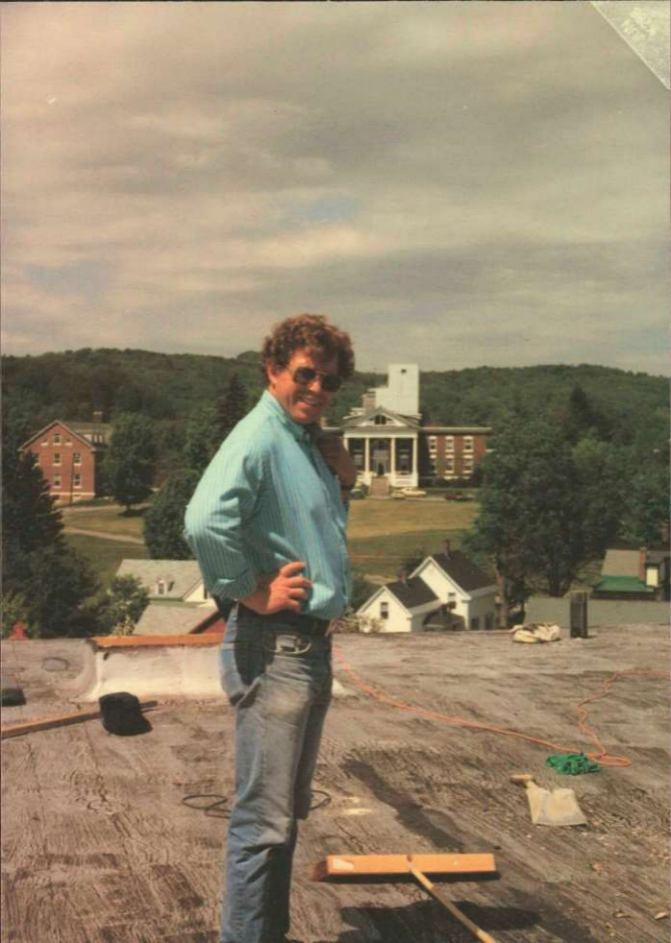
Public Library and Art Gallery



St. Johnsby Athenaeum

Repairs to chimney

May, 1988



St. Johnsbury  
Athenaeum

Deteriorating Roof  
May, 1988



ST. JOHNSBURY AIRWAY  
ART GALLERY  
FREE PUBLIC LIBRARY

St. Johnsbury Athenaeum

30 Main St.

St. Johnsbury, VT 05819